



Staff Report

PLANNING DIVISION
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Planning Commission

From: Lex Traugher – Senior Planner
Tel. (801) 535-6184
lex.traugher@slcgov.com

Date: May 28, 2014

Re: PLNSUB2014-00137 – Conditional Building & Site Design Review
PLNPCM2014-00138 – Planned Development
PLNPCM2014-00287 – Special Exception
1202 E. Wilmington Avenue Mixed Use Development

Conditional Building & Site Design Review, Planned Development, and Special Exception

PROPERTY ADDRESS: 1202 E. Wilmington Avenue
PARCEL IDs: 16-20-276-054, 16-20-276-057, and 16-20-276-029
MASTER PLAN: Sugar House Community Master Plan
ZONING DISTRICT: CSHBD-1, Sugar House Business District

REQUEST:

The petitioner, Lynn Woodbury of Woodbury Corporation, is requesting Conditional Building & Site Design Review as required per Zoning Ordinance Section 21A.26.060(D) – Sugar House Business District Zone to construct a mixed-use development consisting of street level retail, senior housing, and associated parking. The applicant is also requesting Planned Development approval for the relaxation of certain required zoning standards related to increased building stepback height and a partial elimination of “active” uses at the street level. Further, the applicant is requesting Special Exception approval for increased building height.

RECOMMENDATION:

Based on the information in this staff report, Planning Staff supports the overall concept of the proposed development, however does not support the requested relaxation of zoning standards. Planning Staff recommends that the Planning Commission approve the proposal subject to complying with all applicable zoning regulations as outlined in Section 21A.26.060 – Sugar House Business District. Specifically, the approval is based on the applicant’s compliance with:

Section 21A.26.060(G)(1) – Maximum Building Height
Section 21A.26.060(G)(3) – Stepback Requirement
Section 21A.26.060(J) – First Floor/Street Level Requirements

As well as: Table 21A.36.020C – Height Exceptions for Mechanical Equipment Parapet Wall

In addition, the following conditions shall be met:

1. A zoning text amendment to allow assisted living in the Sugar House Business District Zone will need to be approved by the Salt Lake City Council prior to the issuance of any building permits should this proposal receive approval. The City Council is considering said text amendment currently.
2. The proposed building length along Wilmington Avenue is modified to exceed the three hundred foot (300') maximum stipulated in City Code Section 21A.59.060(M)(1)(b).
3. Compliance with the Department/Division comments as attached to this staff report (Attachment K).
4. The parcels that comprise the proposed building site shall be consolidated through a subdivision process prior to the issuance of any building permits.
5. At the time of any building permit approval, signage shall meet Zoning Ordinance standards and will emphasize pedestrian/mass transit orientation.
6. At the time of any building permit approval, lighting shall meet Zoning Ordinance standards, and shall meet the lighting levels and design requirements set forth in Chapter 4 of the Salt Lake Lighting Master Plan dated May 2006.
7. At the time of any building permit approval, required streetscape improvements, including but not limited to landscaping and hardscaping, shall be provided 21A.59.060(J).
8. At the time of any building permit approval, public space improvements shall be met per 21A.59.060(K)(2).
9. Final approval authority shall be granted to the Planning Director based on the applicant's compliance with the above noted standards and conditions.

ATTACHMENTS:

- A. Vicinity Map
- B. Site Plan
- C. Building Elevations
- D. Project Narrative Summary
- E. Additional Applicant Information
- F. Existing Conditions
- G. Analysis of Planned Development Standards
- H. Analysis of Conditional Building & Site Design Review Standards
- I. Analysis of Special Exception Standards
- J. Public Process and Comments
- K. City Dept/Division Comments
- L. Motions

PROJECT DESCRIPTION:

The applicant is proposing a mixed-use development consisting of street level retail uses, structured parking, and senior housing. Four levels of structured parking, partially fronted/screened by retail use at the street level, will be topped with six levels of housing. The north and west facades at the street level will consist of multi-tenant retail, restaurant, and lobby/waiting area for the proposed senior housing. Pedestrian access will be directly off of Wilmington Avenue and through the parking garage. Vehicle access is off of Wilmington Avenue.

The residential element consisting of approximately 274 units will be separated into three different types of housing for seniors: independent living, assisted living, and memory or Alzheimer's care. The units dedicated to independent and assisted living will be comprised of studio, 1 & 2 bedroom unit, while the memory care units will be comprised of studio and 1 bedroom units.

Due to the magnitude (building height and building square footage) of the proposed project, under Section 21A.26.060 – Sugar House Business District, Conditional Building & Site Design Review is required. The Planning Commission has decision making authority in these matters.

The applicant has submitted a Planned Development application to request additional building stepback height, as well as a reduction in the required “active” uses at the street level. The applicant is proposing that the required stepback of 15 feet at the 30 foot level of the building occur at 40 feet. The applicant is also proposing that a significant portion of the Wilmington building façade be exempt from the requirement for those uses that are allowed by Zone at the street level. Please refer to the “Glass Area & Frontage Illustration” in the applicant’s Planned Development application page 16 (Exhibit E). Required uses include residential, retail goods establishments, retail service establishments, public service portions of businesses, restaurants, taverns/brewpubs, social clubs, art galleries, theaters or performing art facilities.

Finally, the applicant is requesting Special Exception approval to entertain additional building height. The applicant is proposing an overall building height of 115 feet as opposed to the maximum allowed by Zone of 105 feet. The applicant states that the increase in building height is justified by the grade/slope of the site.

Currently, a two story, brick office building sits on the east end of the subject property. This structure is slated for demolition as it has reached its usable life. The remainder of the subject property is surface parking.

KEY ISSUES:

The key issues listed below have been identified through the analysis of the project, neighbor and community input, and Department/Division review comments:

- Issue 1 – Proposed building height
- Issue 2 – Proposed stepback height
- Issue 3 – Uses at the street level

Issue 1 – Proposed Building Height: The applicant is seeking an increased building height over and above the maximum allowed in the CSHBD Zone. The maximum allowed is 105 feet, the applicant is seeking a relaxation of this standard and an additional 10 feet in building height for a total of 115 feet.

The applicant states that the primary reason for this request is due to the grade change (7') from east to west on the subject parcel, and to avoid a sloped slab or a stepped building. They also contend that the area is an urban location and therefore the height is warranted. Please refer to the “Applicant Narrative – Legacy of Village of Sugar House” for further detail (Attachment E).

Planning Staff contends that it is possible to construct this building/project without exceeding the maximum building height regardless of slope. There are several means by which this could be accomplished, including but not limited to, grading the site to eliminate the slope challenge, constructing a level of parking underground, and/or the reconsidering the magnitude of the development and scale it back to meet the zoning requirements. Planning Staff asserts that the building height zoning requirement can be met, and there is no compelling argument, including slope, to recommend that the standard be relaxed.

The following is a list of major project that have been development under the current Sugar House Master Plan (2005) and associated zoning in the Sugar House Business District that have all conformed to the maximum building height limits:

- Sugar House Crossing (2100 South & Highland Drive)
- Liberty Village at Sugar House Apartments (Elm Avenue & McClelland Street)
- Sugar House Apartments (Approximately 2000 South 1200 East)

- Westminster Mixed-Use Development (2120 South 1300 East)
- Wilmington Gardens (Wilmington Avenue adjacent to Hidden Hollow)

The Sugar House Master Plan and associated CSHBD (Sugar House Business District) Zoning were adopted primarily to achieve a specific built environment in the Business District. One very important aspect of the desired environment is building height. The process during the last revision to the Master Plan and Zoning Standards focused heavily on establishing a maximum building height; one that was both acceptable to the property owners in the area and the community at large. The debate regarding maximum building height was extensive and contentious. In short, the maximum building height of 105 feet was a compromise between all concerned parties which was subsequently adopted by the City Council.

Planning Staff's concern with the proposed building height is twofold. First, the proposed building height of 115 feet does not conform to the community vision that was adopted in the Sugar House Master Plan, implemented by the CSHBD Zoning Standards, for the Sugar House Business District. The adopted maximum building height standard was adopted for the specific purpose of realizing said vision. A discussion of "Business District Design Guidelines" is attached in Section F – Existing Conditions. These guidelines address building height, scale, and mass, outlining the vision that is desired for the Sugar House Business District. Planning Staff is not in a position to support proposals that do not lend themselves to the community vision outlined in the Master Plan and implemented by the Zoning Ordinance. Second, should the proposed height be allowed, it would be precedent setting. An approval for increased building height would be an indication to developers in the future that increased building height is appropriate in the area and further is consistent with the established community vision.

Should the Planning Commission consider the applicant's request warranted, Section 21A.26.10(J) allows modifications to maximum building height due to natural topography of the site as a Special Exception. The Planning Commission may approve additional height not to exceed 10% of the maximum height allowed by zone pursuant to the standards adopted for Special Exceptions.

As a side note, Table 21A.36.020C addresses "Height Exceptions", and specifically limits mechanical equipment parapet wall height to 5 feet. The applicant's elevation drawings do not conform to this development standard.

Issue 2 – Proposed Stepback Height: Section 21A.26.060(G)(3) of the Zoning Ordinance addresses building stepback requirement and reads, "In the CSHBD1 and CSHBD2 zoning districts, floors rising above 30 feet in height shall be stepped back 15 horizontal feet from the building foundation at grade, in those areas abutting low density, single-family residential development and/or public streets." The applicant is proposing that this required building stepback occur at 40 feet instead of 30 feet.

This issue is similar to "Issue 1" discussed above. This zoning standard was instituted for the purpose of achieving a specific vision in the Sugar House Business District; a vision of pedestrian or human scale structures adjacent to the street. The specific purpose of the building stepback is to give the passing pedestrian a sense of smaller building scale. Additional building height is envisioned to be set back further from pedestrian view to achieve the human or pedestrian compatible scale at the street front. While the applicant is indeed proposing a 15 foot stepback, it occurs at a higher level on the building at 40 feet. This design element at an increased height level does not lend itself to enhancing or achieving the vision outlined in the Master Plan and implemented by the Zoning Ordinance as noted.

The applicant states that the stepback at 30 feet is not possible as it would occur at the level of the parking garage. The outdoor plazas would be located at the stepback at 40 feet and setback 15 feet, thus exposing the top level of the parking garage and resulting in the plaza level being

setback from the edge of the building. This would create a gap between the edge of the building and where the plazas start (see Summary Narrative diagram – Attachment D).

Here again, Planning Staff asserts that this zoning requirement can be met, and there is no compelling argument to recommend that the standard be relaxed.

Issue 3 – Uses at the Street Level: Section 21A.26.060(J) outlines First Floor/Street Level Requirements and reads, “The first floor or street level space of all buildings with this area shall be required to provide uses consisting of residential, retail goods establishments, retail service establishments, public service portions of businesses, restaurants, taverns/brewpubs, social clubs, art galleries, theatres, or performing art facilities.

The applicant’s proposal does not meet this requirement on the east end of the north facade. The applicant asserts that street level retail at this particular location would be below grade and would result in marginal retail space with low ceiling heights.

Planning Staff is sympathetic to this argument, however given the applicant’s request for additional building height, the unwillingness to include at least one level of underground parking, thereby lowering the entire building to meet building height, Planning Staff’s position is that the retail space should be required. If the project were redesigned to meet maximum building height and setback requirements in the Zone, Planning Staff would be in a better position to support a relaxation of active uses in this location due to physical site constraints.

DISCUSSION:

The overall concept of this project is the type of development envisioned for the area as identified in the Sugar House Master Plan, and therefore one that could be potentially fully supported by Planning Staff. Further, the design of the building is similar to other recently approved developments in the Business District. The issues noted above prevent Planning Staff from holding a position of total support for this project. Again, Planning Staff contends that it is possible to construct this building/project to meet all development standards.

The analysis for the Conditional Building & Site Design Review, Planned Development, and Special Exception (Attachments G, H & I) demonstrate that the proposal, in general, only partially complies with the standards set forth in these particular processes. In terms of the Planned Development request, Planning Staff has determined that the proposal is insufficient in the necessary design required to meet the standards for compliance with the Master Plan and Zoning Ordinance, as well as overall compatibility. Further, there are several standards required for Conditional Building & Site Design Review and Special Exception that only partially comply or are only partially satisfied given the proposed building design.

In summary, the overall project is a good proposal, it simply needs to meet Zoning Ordinance standards as noted.

NEXT STEPS:

If approved as proposed, the applicant will be required to obtain all necessary building permits for the project. If the project is approved as Planning Staff recommends, meeting all Zoning Ordinance standards as noted, the applicant would need to resubmit revised plans demonstrating compliance. If denied, the applicant would not have City approval to carry on with the proposal.

ATTACHMENT A: VICINITY MAP

MCCLELLAND ST.

OS

CSHED1

SIMPSON AVE
SUGARMONT DR

1100 E

CSHED1

CSHED1

HIGHLAND DR

PL

STRINGHAM AVE

ELIZABETH ST



WILMINGTON AVE

OS

Subject Property

CSHED1

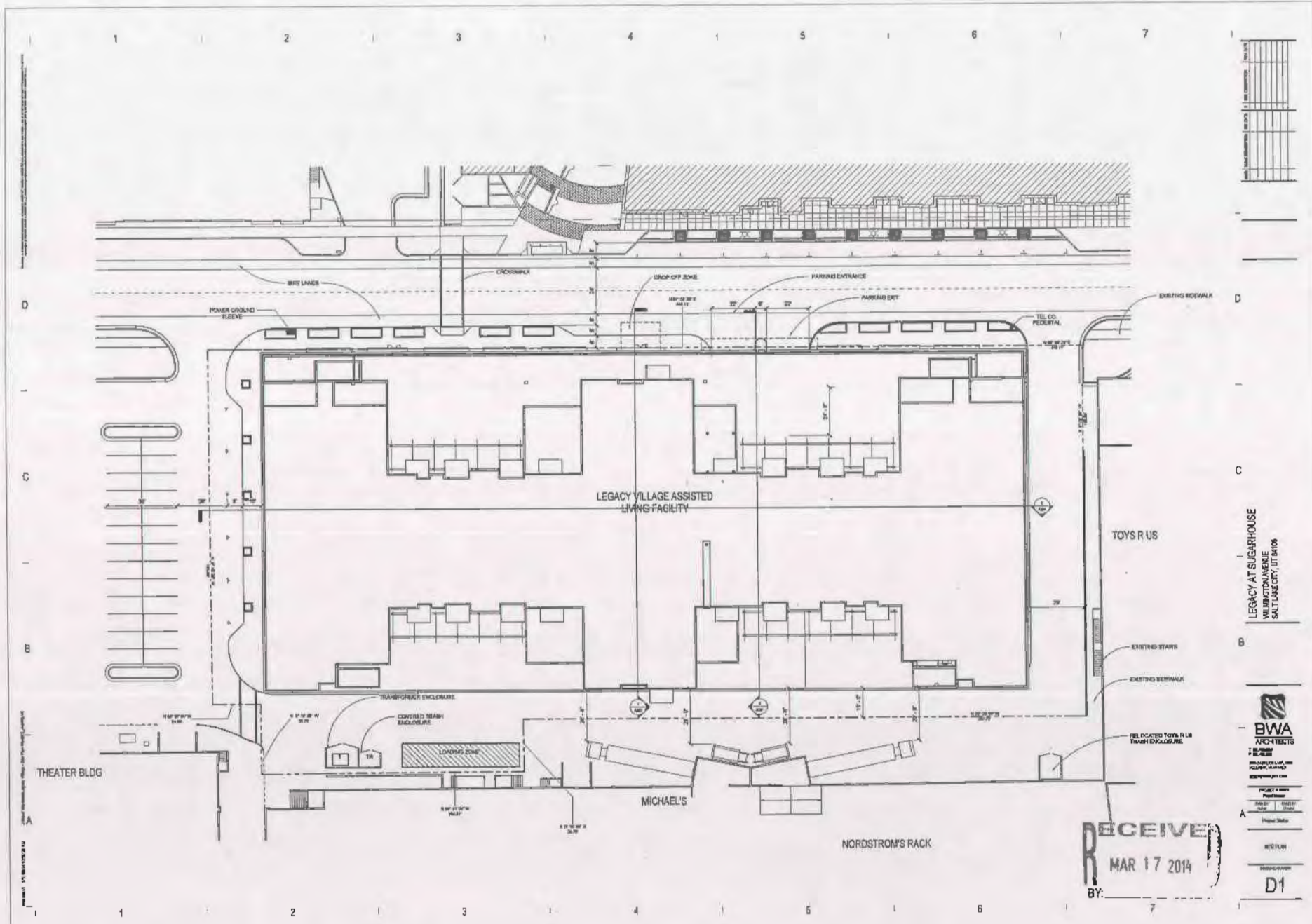
CSHED1

1300 E

OS

OS

ATTACHMENT B: SITE PLAN



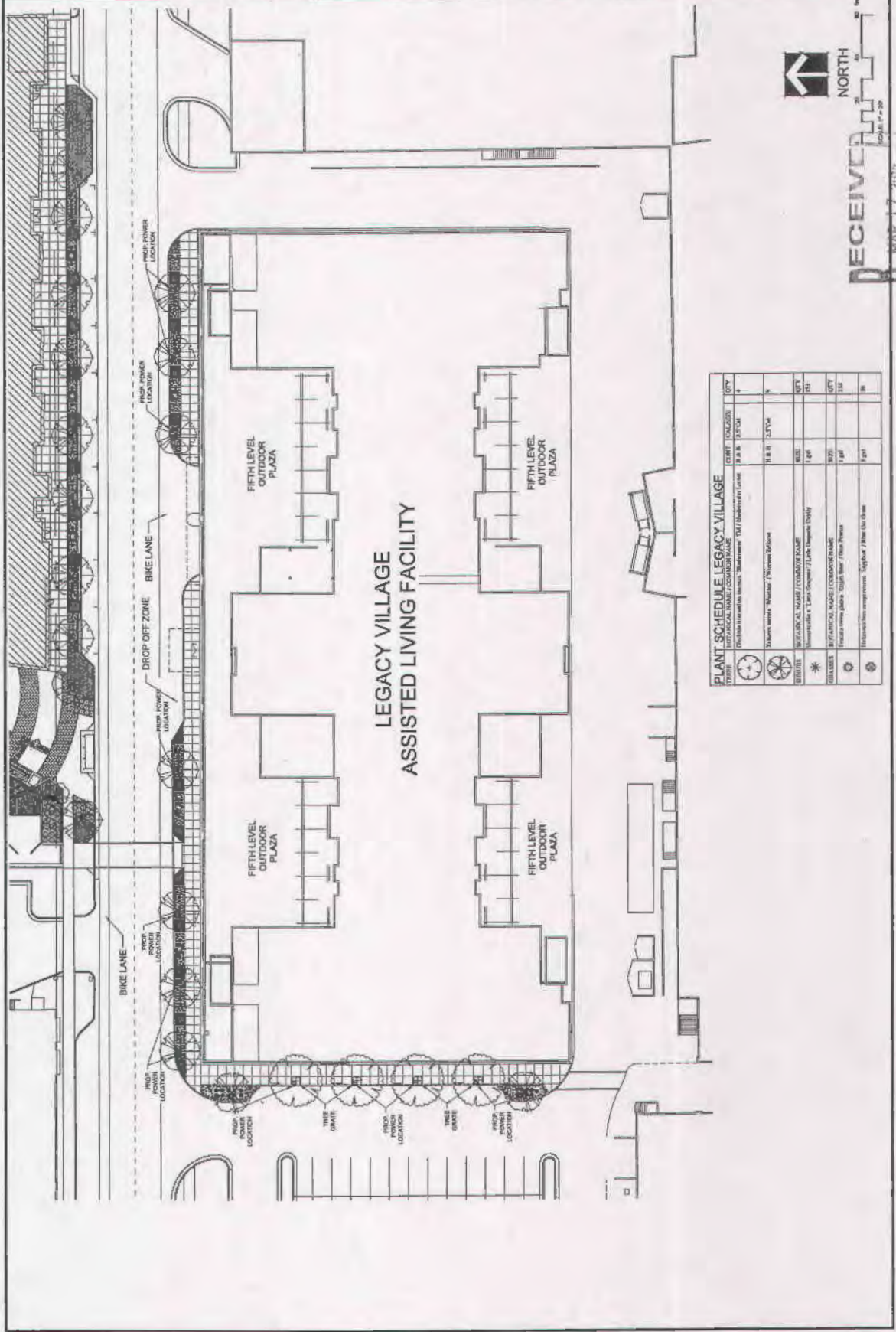
LEGACY AT SUGARHOUSE
WILMINGTON, DE
SALT LAKE CITY, UT 84108



PROJECT # 10000
SHEET # 10000
DATE 03/17/2014

RECEIVED
MAR 17 2014
BY: _____

D1



RECEIVED
 MAR 17 2014
 BY: _____

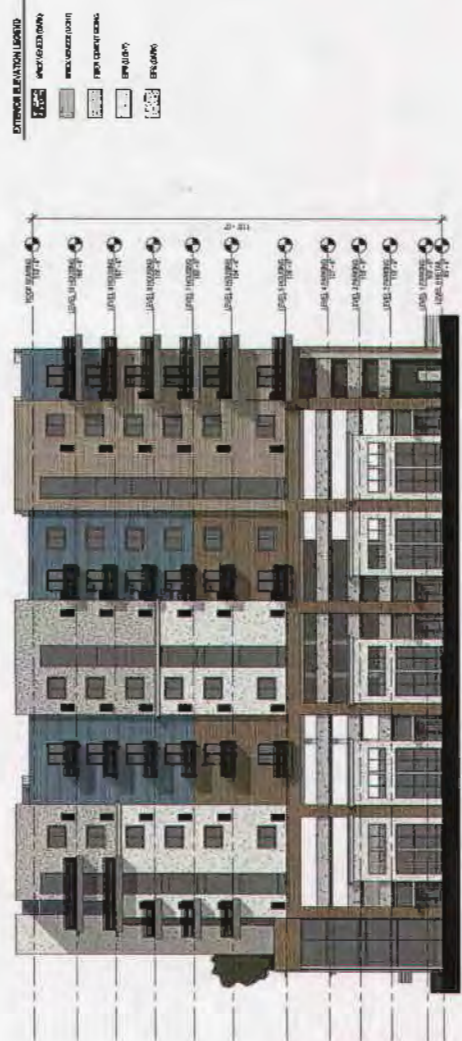
NORTH

PLANT SCHEDULE LEGACY VILLAGE

TYPE	SYMBOL	SYMBOL NAME / COMMON NAME	QTY	SCALE
Tree	(Symbol)	White Oak	10	1:10
Tree	(Symbol)	Large Pine Tree	5	1:10
Tree	(Symbol)	White Dune	20	1:10
Shrub	(Symbol)	Shrub	100	1:10
Grass	(Symbol)	Grass	1000	1:10
Water	(Symbol)	Water	1	1:10
Light	(Symbol)	Light	10	1:10
Other	(Symbol)	Other	10	1:10

ATTACHMENT C: BUILDING ELEVATIONS

1 2 3 4 5 6



- EXTERIOR ELEVATION LEGEND**
- BRICK
 - CONCRETE
 - WOOD CLADDING
 - GLASS
 - IRON GRATE
 - WOOD BALCONY
 - WOOD TRIM
 - WOOD ROOF
 - WOOD FLOOR
 - WOOD CEILING
 - WOOD WALL
 - WOOD FENCE
 - WOOD SIGN
 - WOOD LIGHT
 - WOOD PLANT

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6
NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6

LEGACY VILLAGE AT SUGAR HOUSE
 1200 WILMINGTON AVENUE
 SALT LAKE CITY, UT 84108



BWA ARCHITECTS
 1000 EAST 1000 SOUTH
 SUITE 1000
 SALT LAKE CITY, UT 84143
 TEL: 313.333.3333
 WWW.BWAARCHITECTS.COM

PROJECT NO. 1200
 DATE: 12/15/18
 PROJECT STATUS: DESIGN

LEGACY VILLAGE AT SUGAR HOUSE
 ELECTRICAL

DATE: 12/15/18
 PROJECT NO. 1200



- EXTERIOR ELEVATION LEGEND**
- BRICK
 - CONCRETE
 - WOOD CLADDING
 - GLASS
 - IRON GRATE
 - WOOD BALCONY
 - WOOD TRIM
 - WOOD ROOF
 - WOOD FLOOR
 - WOOD CEILING
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 - WOOD LIGHT
 - WOOD PLANT

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6
NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6

LEGACY VILLAGE AT SUGAR HOUSE
 1200 WILMINGTON AVENUE
 SALT LAKE CITY, UT 84108



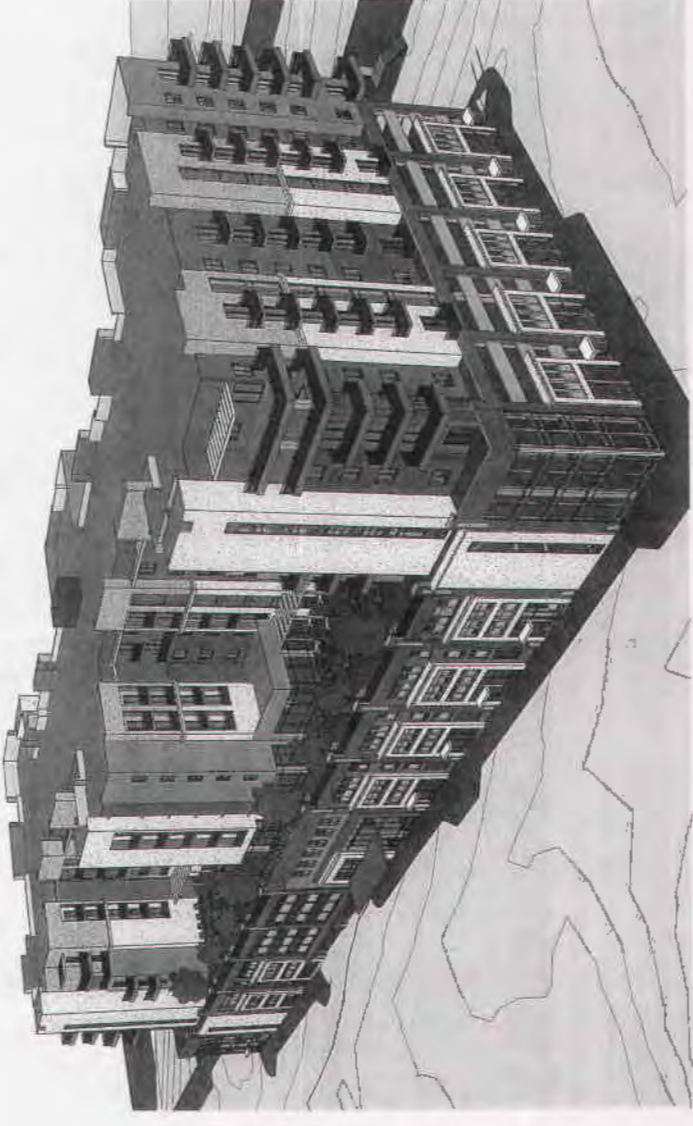
BWA ARCHITECTS
 1000 EAST 1000 SOUTH
 SUITE 1000
 SALT LAKE CITY, UT 84143
 TEL: 313.333.3333
 WWW.BWAARCHITECTS.COM

PROJECT NO. 1200
 DATE: 12/15/18
 PROJECT STATUS: DESIGN

LEGACY VILLAGE AT SUGAR HOUSE
 ELECTRICAL

DATE: 12/15/18
 PROJECT NO. 1200

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B
C

LEGACY VILLAGE AT SUGAR HOUSE
1200 WILMINGTON AVENUE
SALT LAKE CITY, UT 84106

DATE	REVISION	BY	CHK

BWA
ARCHITECTS
100 WEST
100 SOUTH
SALT LAKE CITY, UT 84111
TEL: 313.220.1000
WWW.BWAARCHITECTS.COM

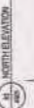
PROJECT NAME
OWNER
ARCHITECT
DATE
PROJECT NO.

NO REPRESENTATIONS
OR WARRANTIES
ARE MADE

A901

RECEIVED
MAR 17 2014
BY: 6

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B
C

LEGACY VILLAGE AT SUGAR HOUSE
1200 WILMINGTON AVENUE
SALT LAKE CITY, UT 84106

BWA
ARCHITECTS
100 WEST
100 SOUTH
SALT LAKE CITY, UT 84111
TEL: 313.220.1000
WWW.BWAARCHITECTS.COM

PROJECT NAME
OWNER
ARCHITECT
DATE
PROJECT NO.

NO REPRESENTATIONS
OR WARRANTIES
ARE MADE

A901

RECEIVED
MAR 17 2014
BY: 6

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ATTACHMENT D: PROJECT NARRATIVE SUMMARY

**APPLICANT NARRATIVE
LEGACY VILLAGE OF SUGAR HOUSE**

Western States Lodging and Development, Woodbury Corporation, Colmena Group and Dee's Inc. are excited to be a part of the new Legacy Village of Sugar House. This project is a continuation of our commitment to foster a diverse, vibrant, and mixed-use neighborhood. The senior population is currently underserved in Sugar House and Legacy Village seeks to introduce urban residences for seniors with all the neighborhood amenities that Sugar House has to offer.

Due to the slope of Wilmington, the type of project, the location within the Sugar House district, and size and character of adjacent properties, we are requesting several exceptions to the Sugar House area design standards. Even with these exceptions, we feel the project still promotes the goals of the Sugar House community in creating a stable, well-kept, vibrant, mixed-use neighborhood with supporting convenient commercial services and many housing options which sustain the quality of life and create a program for mobility with a commitment toward optimizing the pedestrian experience.

The exceptions we are seeking are summarized below:

1. Building Height:

We are requesting an increase in the maximum height of the building from 105-ft to 115-ft. We believe this is justified by the following:

a. Grade Change:

- There is a 7-ft grade change from east to west on Wilmington Avenue (see North Elevation).
- There is an 11-ft grade change from east to west on the south side of the property (see South Elevation).
- The average height of the east elevation is 106-ft which only exceeds the maximum height restriction by 1-ft.
- It's only on the west side, because of the grade change, that the building height extends to 115-ft above grade.
- The GRADE CHANGE EXHIBIT cuts a section through the building near the south end where the greatest change of grade occurs.

b. Avoid Sloped Slabs or Stepped Building:

- Level slabs along Wilmington Street frontage "mask" the parking structure to help it blend in with the neighborhood.
- Level slabs allow for higher ceiling clearances on the west side, making the retail street-level space more desirable.
- Parking structure use prevents stepping of building floor levels.

c. Location Within the Sugar House District:

- The property is located in the Sugarhouse Shopping Center and is surrounded by commercial users.
- The site is over 1,200-ft away from the closest single-family residence to the north and 1,300-ft away from residences to the west.

- The Wilmington Gardens property (which our development team is currently building) is the closest residential property to this site. We have intentionally designed this project to compliment Wilmington Gardens.
- The additional height does not cause a greater obstruction to views from across the street or other residential developments to the west beyond what would exist with a lower building.
- Contextually, even with the height increase, the building will still be lower in relative elevation to many of the neighboring buildings (Redman, Westminster on the Draw, Park View I and Park View II). REFERENCE SITE CROSS-SECTION EXHIBIT.
- The greater height increases development density.
- In 2009, on a RDA sponsored trip to the Pearl District in Portland, our team was told that the Sugarhouse Center is the one area in Sugar House where dense, high-rise development could occur because its location did not abut a single-family neighborhood.

2. Building Setback:

Along Wilmington Avenue, the zoning calls for a 15-ft setback from the street once the building gets to 30-ft in height. We are requesting that this 15-ft setback occur at an average of 40-ft based on the following:

a. Bring Landscaped Plazas to the Street:

- Landscaped outdoor plazas occur on the roof of the parking structure. If the setback occurred at the 30-ft height, then these rooftop plazas will be set back 15-ft from the street.
- A setback plaza would result in occupants viewing the top of vehicles parked on the top level of the parking deck. REFERENCE PODIUM SETBACK EXHIBIT.
- Extending the plazas to the edge of the building makes the landscaping and planters visible to pedestrians from the street.
- This also allows building occupants to view the activity on both sides of the street.
- Visible plaza landscaping at the edge of the building helps activate the street façade.
- The STREET SECTION EXHIBIT shows view angles from both sides of Wilmington Avenue to the plaza as well as those from the plaza to the street.

b. Setback at 40-ft is in Scale with the Neighboring Buildings:

- The adjacent Toy's R Us, Nordstrom Rack, and Michael's buildings are at the same approximate height relative to the 40-ft floor level of the plaza. The ComCast building is even higher.
- The 40-ft high setback creates a similarly scaled environment for the plaza level of this building to be relatively the same height as the neighboring buildings.
- Dropping the entire building would result in plazas being below the roofs of adjacent buildings and materially obstruct views from the plazas.
- REFERENCE SITE CROSS-SECTION EXHIBIT.

c. Masking Parking Structure:

- Higher plaza edge makes the masking of the parking structure more effective.

- If the 15-ft setback were to occur at 30-ft in building height, then the top level of parking would be visible from the street as well as visible to patrons on the rooftop plazas.
- REFERENCE PODIUM SETBACK EXHIBIT and STREET SECTION EXHIBIT.

3. Retail Along Wilmington Avenue:

The zoning calls for active uses to occur at the street level along Wilmington Avenue. We have provided active uses for the majority of this street. The requested exception applies only to the eastern-most 45-ft of the building facade:

a. Low Ceiling Heights:

- Due to the grade change of the site, the floor level of occupiable space at the eastern end is 2-3-ft below the street level. Transitional stairs and ramps are awkward, especially to comply with ADA requirements.
- Ceiling heights of the eastern-most portion would be less than 9-ft, which is not conducive for an occupiable use such as retail. Raising floor levels closer to the street makes the space totally non-functional.
- Fire Department control center and associated valves and pump rooms are in this location as required by code which will provide safe and convenient access for emergency personnel.
- REFERENCE GRADE CHANGE EXHIBIT.

b. Alternative Street Activity Generators and Screening:

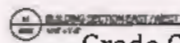
- Stairway location at east corner of the building forces parking lot users to access the street at the east end and creates street activity along the length of the structure.
- Glass fronts and windows are provided along the east end to screen and obscure visibility of parked vehicles within.
- Although not required by the design guidelines, retail fronts are provided along the entire west side of the building which will generate additional activity on Wilmington Avenue.

c. Changing the Character of the Existing Sugarhouse Shopping Center:

- Preliminary master plans envision the gradual transition of the existing shopping center from its current suburban character to a more urban village environment. Such transition calls for the introduction of a smaller street grid, multiple-level structures, and a mix of commercial and residential uses.
- This development is the first step in that direction by creating a pedestrian connection between Wilmington and Simpson Avenues. A full street will ultimately be provided.
- Providing a retail façade along 100% of the western face of the building will activate this street and strengthen the connection from the shopping center to Wilmington Avenue.
- REFERENCE SUGAR HOUSE AREA EXHIBIT

Heavy Line Represents
105-ft Height

Exhibits



Grade Change Exhibit (Cross-section cut along south side where the greatest change in grade occurs)



Site Cross-Section Exhibit (Shows relative height of Legacy Village Building to other surrounding buildings)

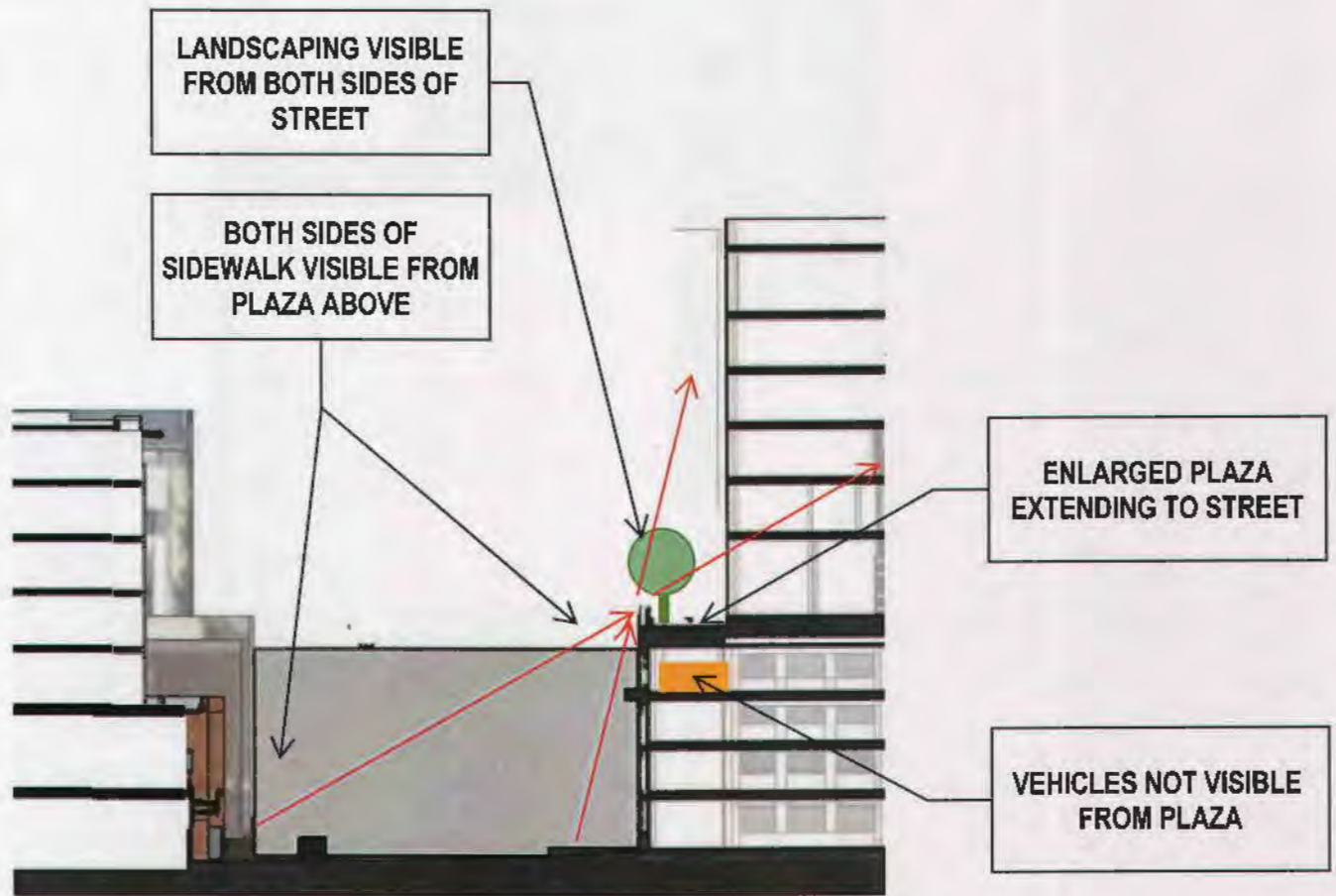
PODIUM SETBACK EXHIBIT



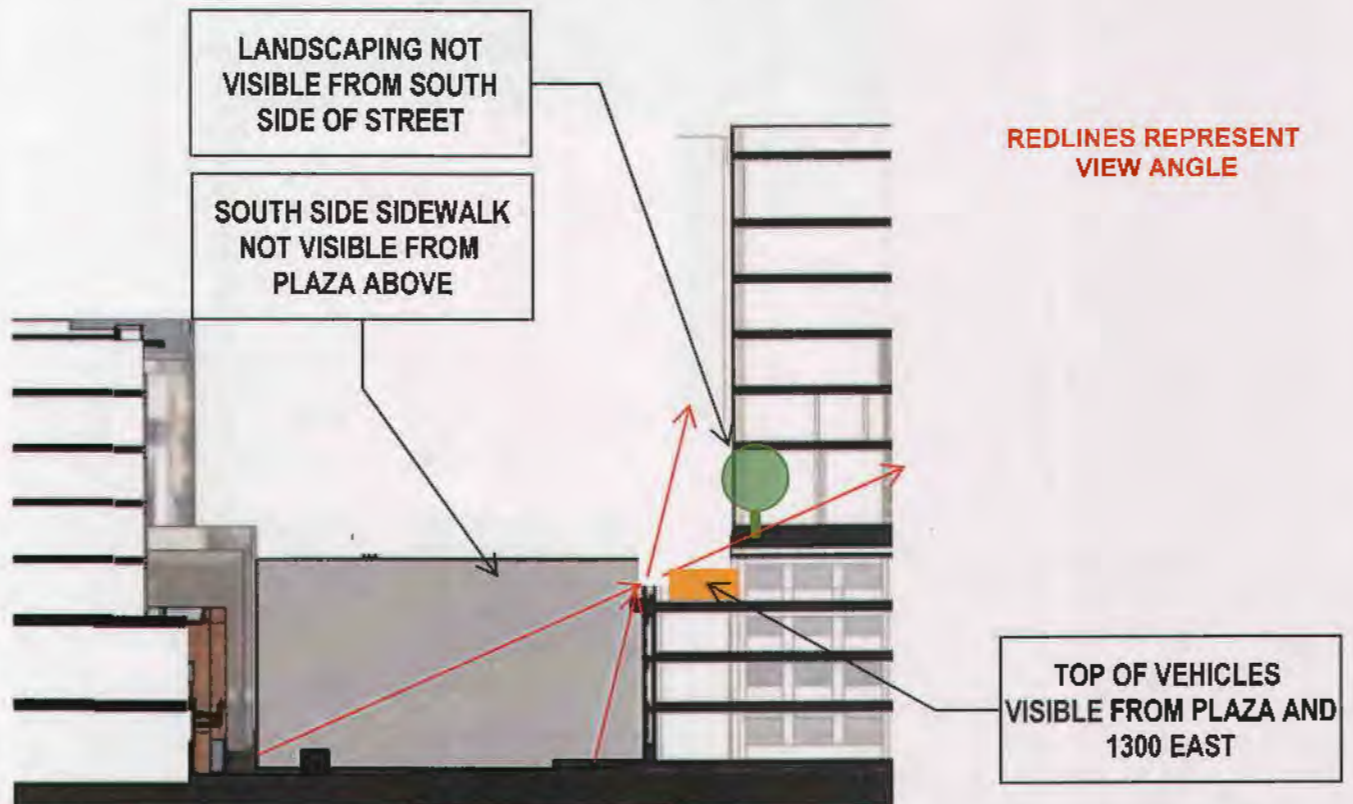
VIEW OF PLAZA WITH 30-FT HIGH STEP BACK



VIEW OF PLAZA WITH AVERAGE 40-FT HIGH STEP BACK



STREET SECTION WITH 30-FT HIGH STEP



STREET SECTION WITH 30-FT HIGH STEP

STREET SECTION EXHIBIT

1	2	3	4	5	6
1	2	3	4	5	6

1

2

3

4

5

6

EXTERIOR ELEVATION LEGEND

	BRICK
	CONCRETE
	WOOD
	GLASS
	ROOFING
	LANDSCAPE



1
2
3
4
5
6

LEGACY VILLAGE AT SUGAR HOUSE
1200 WILMINGTON AVENUE
SALT LAKE CITY, UT 84106



BWA ARCHITECTS
1200 WILMINGTON AVENUE, SUITE 100
SALT LAKE CITY, UT 84106
PHONE: (801) 466-1111
WWW.BWAARCHITECTS.COM

PROJECT NAME:
OWNER:
DATE:
SCALE:

PROJECT NUMBER:
DATE:
SCALE:

EXTERIOR ELEVATIONS

A201



1
2
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4
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1200 WILMINGTON AVENUE, SUITE 100
SALT LAKE CITY, UT 84106
PHONE: (801) 466-1111
WWW.BWAARCHITECTS.COM

1

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3

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5

6



SUGAR HOUSE AREA EXHIBIT

ATTACHMENT E: ADDITIONAL APPLICANT INFORMATION

**WILMINGTON GARDENS PARKING AND
LEGACY VILLAGE OF SUGAR HOUSE
SENIOR HOUSING DEVELOPMENT
1200 EAST WILMINGTON AVENUE
SALT LAKE CITY, UTAH
Date: March 31, 2014 (Revised)**

APPLICANTS: Wilmington Gardens Group LLC, the owner and developer for the parking deck portion of the project and is a joint venture partner with Western States Lodging II, LLC for the development of the Legacy Village Senior Housing portion.

PLANNED DEVELOPMENT APPLICATION NARRATIVE

1. PROJECT DESCRIPTION:

This mixed-use project is part of the Wilmington Gardens Mixed Use project currently under construction on the north side of Wilmington Avenue and includes the remainder of the required parking for that project together with other additional retail and housing uses. It is located directly south of the Wilmington Gardens Mixed Use project.

SITE AREA		
Parcel	Gross Area (SF)	Acres
Keller Williams Parcel (16-20-276-029)	26,606	0.611
Sugar House Center - Parcel 9B (Adjusted)	38,739	0.889
Sugar House Center - Parcel 9C (Adjusted)	23,035	0.529
TOTAL	88,380	2.029

BUILDING AREA			
Level	Gross Area (SF)	Parking Spaces	Living Units
Level 1: Street		93	
Retail	12,200		
Legacy Reception/Support	5,733		
Parking/Stairs/Circulation	49,157		
Level 2: Parking/Stairs/Circulation	65,242	156	
Level 3: Parking/Stairs/Circulation	67,090	167	
Level 4: Parking/Stairs/Circulation	67,090	162	
Subtotal	266,512	578	
Level 5: Senior Housing			
Common Facilities & Support	21,392		
Assisted Living	10,900		12
Memory Care	16,300		24
Outdoor Plazas		18,138	
Level 6: Assisted Living	43,500		30
Memory Care			24
Level 7: Assisted Living	43,500		48
Level 8: Assisted Living	43,500		28
Independent Living			20
Level 9: Independent Living	43,500		44
Level 10: Independent Living	43,500		44
Subtotal	266,092		274

EXISTING USE:

The existing 2-story plus basement brick-clad building is class B office space that is somewhat out-of-date with other leasable office space in the City and has reached its usable life. The entry from Wilmington Avenue is elevated approximately 6-ft above the grade of the street and is only ADA accessible by means of a steep (code noncompliant) ramp. The remainder of the property is currently surface parking. It is surrounded by the rear service side of the shopping center with exposed loading docks, trash facilities, and equipment racks. The sidewalks are in disrepair and need replacement. There is very little pedestrian activity in this part of Sugar House which prevents public monitoring and policing of the area.

PROPOSED USES:

Street Level Retail: The north and west frontages will be multi-tenant retail, quick serve restaurant, and lobby/waiting space for senior housing. Pedestrian access is available directly from Wilmington Avenue and the parking deck. Sidewalk paving patterns and configuration of street landscaping and tree types will be of the same character and type of that used on the north side of the street.

Senior Housing: The Legacy Village of Sugar House will be the newest member of the Legacy family, which is the largest senior care provider in Utah. Residents of the Sugar House and surrounding communities will be able to come to this facility to live a luxurious, maintenance free lifestyle while at the same time having the opportunity for assistance and medical care of varying levels should they need it. The Legacy Village of Sugar House will be separated into three different types of housing for seniors: Independent Living, Assisted Living, and Memory or Alzheimer's Care, comprising of an estimated total of 274 units.

Independent Living: Independent living services are designed for seniors who want to trade the responsibility of maintaining a home for a lifestyle of social, educational and leisure activities offering the best of both worlds: Private living along with services that make life easier and activities that allow for interaction with other residents on a daily basis.

Services Include:

- Restaurant-style dining in an elegant dining room—three meals daily.
- Weekly housekeeping and linen service.
- Maintenance, landscaping and snow removal.
- Full activity program that provides physical, intellectual, social and spiritual activities to enhance quality of life.
- Scheduled transportation to medical appointments, grocery shopping and banking when necessary.
- State board of health licensing not required for this type of housing.

Standard in Each Residence:

- Apartment-style—Studio, 1 and 2 bedroom units with kitchenette and private bath.
- Individually controlled heating and cooling system.
- 24-hour emergency call system.
- Safety features including grab bars.
- Fully handicap accessible apartments available.

Amenities:

- Onsite laundry room.
- Beauty and barber shop.
- Country store.
- Library, activity room, game room, billiards room and fitness/therapy room.
- Private dining room.
- State-of-the-art emergency response and security system.

- Within walking distance of grocery stores, pharmacy, public library, parks and restaurants.
- Beautiful common areas for visiting with neighbors and friends.
- Elevators.
- Beautifully landscaped outdoor plazas.

Assisted Living: Assisted living services are designed for seniors who can no longer manage on their own but do not require intensive, 24-hour medical care. It provides a combination of long-term residential living, health and recreational services, and help with daily living activities such as bathing, dressing, eating and medications in a warm, home-like environment.

Services Include:

- Assistance with activities of daily living including dressing, grooming and bathing.
- 24-hour, onsite certified nursing staff available. Full-time Registered Nurse available. State Board of Health licensing required.
- Medication monitoring and diabetes care.
- Incontinence care.
- Respite care.
- Restaurant-style dining—three meals daily plus snacks.
- Weekly housekeeping and linen service.
- Personal laundry service available.
- Maintenance, landscaping and snow removal.
- Full activity program that provides physical, intellectual, social and spiritual activities to enhance quality of life.
- Scheduled transportation to medical appointments, grocery shopping and banking.

Standard in Each Residence:

- Apartment-style—Studio, 1 and 2 bedroom units with kitchenette and private bath.
- Individually controlled heating and cooling system.
- 24-hour emergency call system.
- Safety features including grab bars.
- Fully handicap accessible apartments available.

Amenities:

- Onsite laundry room.
- Beauty and barber shop.
- Library, activity room, game room and fitness/therapy room.
- Private dining room.
- State-of-the-art emergency response and security system.
- Elevators.
- Beautiful common areas for visiting with neighbors and friends.
- Beautifully landscaped. Residents enjoy water features, walking paths and flower gardens.

Memory Care: The memory care community is staffed by professionally trained caregivers that provide assistance and supervision for daily activities such as eating, bathing, grooming, incontinence care and walking all in a secure environment. Residents enjoy private apartments furnished with personal belongings and mementos that make it feel like home. Special thought is given to the décor and functionality of each room. Activities are also specially designed to meet the needs of residents.

Services Include:

- Assistance with activities of daily living including dressing, grooming, bathing, eating and ambulation
- 24-hour, on-site certified nursing staff available. Full-time Registered Nurse available. State Board of Health licensing required.
- Frequent monitoring by staff.
- Medication monitoring and diabetes care.

- Increased incontinence care.
- Respite care.
- Three meals daily plus snacks.
- Weekly housekeeping and linen service.
- Personal laundry service.
- Maintenance, landscaping and snow removal.
- Full activity program that provides physical, intellectual, social and spiritual activities to enhance quality of life.
- Special activities tailored specifically for those residents with memory care issues.
- Scheduled transportation to medical appointments.

Standard in Each Residence:

- Apartment-style—studio and one bedroom units with private bath.
- Semi-private apartments available.
- Individually controlled heating and cooling system.
- 24-hour emergency call system.
- Safety features including grab bars.
- Fully accessible apartments available.

Amenities:

- All amenities included with Assisted Living services.
- Additional amenities include private, family-style kitchen and dining areas; separate craft and activity areas.
- Secure environment—keypads on doors to ensure safety of residents.
- Secure outdoor area with walking paths, garden boxes and sitting areas.

OFFSTREET PARKING:

Wilmington Gardens Group has already committed and is contractually obligated with the City to provide structured parking to support the mixed-use development on the north side of Wilmington.

Requirements: Refer to the Parking Analysis Standard Requirements Table for a tabulation of spaces required and provided pursuant to City ordinances. This table includes parking on north side development since the parking structure provides the additional spaces required to support its uses. In fact, based on the City's table for shared parking, the required total parking is reduced as a result of the mix of uses. The peak parking demand for the combined projects is during the weekday time of 7:00 AM to 6:00 PM. Minimum requirement based on the Calculated Shared Parking Requirement Table is 416-spaces plus another 129 spaces to replace those that existed on the surface serving the Sugarhouse Center. Total required parking is 545 spaces.

There are 168 spaces on the north side. The parking garage provides 560 stalls plus 5 parallel spaces adjacent to the west sidewalk. The total exceeds the minimum requirement, but the Owner feels that, notwithstanding the availability of nearby transit, the additional spaces are necessary to attract prospective office, retail, and restaurant tenants and satisfy their requirements and demands. The additional parking will also facilitate additional growth in the Sugarhouse Center as its redevelopment evolves.

Racks for bicycles are provided in the parking deck and on the surface of the north side development.

Parking Analysis Standard Requirements Table

STANDARD REQUIREMENTS	Area (SF) ¹ Units	Code Requirement	Spaces Required	Spaces Provided	Explanation
General Land Use Classification					
North Side					
East Building Office	41,186	3 Per 1,000	124	158	Underground
East Building Retail	33,935	2 Per 1,000	68	10	Surface/Street
East Building Restaurant	5,545	2 Per 1,000	11		
East Building Housing	105	1.5 Per Unit	157.5		
Subtotal East Building			360	168	
West Building Retail	4,477	2 Per 1,000	9		
West Building Restaurant	5,992	2 Per 1,000	12		
West Building Condominiums	7	2 Per Unit	14		
Subtotal West Building			35	0	
TOTAL NORTH SIDE			395	168	
South Side					
				5	West Surface
Retail	12,200	2 Per 1,000	24	93	Deck Level 1
Assisted Living/Memory Care	166	0.5 Per Unit	83	150	Deck Level 2
Independent Living	108	0.75 Per Unit	81	159	Deck Level 3
Sugarhouse Center Retail	25,800		129	158	Deck Level 4
Subtotal South Side			317	565	
TOTAL PROJECT			712	733	
Bicycle Parking (5% of Required Rounded Up).			36	37	
¹ Area excludes mechanical equipment and storage areas.					

Extracted Shared Parking Per City Ordinance Table

SHARED PARKING ANALYSIS (Per Table 21A.44.060E)	Weekdays			Weekends		
	Midnight- 7:00 AM	7:00 AM- 6:00 PM	6:00 PM- Midnight	Midnight- 7:00 AM	7:00 AM- 6:00 PM	6:00 PM- Midnight
North Side						
Office	5%	100%	5%	0%	5%	0%
Retail	0%	100%	80%	0%	100%	60%
Restaurant	50%	70%	100%	70%	45%	100%
Residential	100%	50%	80%	100%	75%	75%

Condominiums	100%	100%	100%	100%	100%	100%
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Calculated Shared Parking Requirement Table

SHARED PARKING CALCULATION (Per Table 21A.44.060E)	Weekdays			Weekends		
	Midnight- 7:00 AM	7:00 AM- 6:00 PM	6:00 PM- Midnight	Midnight- 7:00 AM	7:00 AM- 6:00 PM	6:00 PM- Midnight
North Side						
Office	6.2	123.6	6.2	0.0	6.2	0.0
Retail	0.0	76.8	61.5	0.0	76.8	46.1
Restaurant	11.5	16.2	23.1	16.2	10.4	23.1
Housing	157.5	78.8	126.0	157.5	118.1	118.1
Condominiums	14.0	14.0	14.0	14.0	14.0	14.0
Subtotal North Side	189	309	231	188	226	201
Retail	0.0	24.4	19.5	0.0	24.4	14.6
Assisted Living Memory Care	83.0	41.5	66.4	83.0	62.3	66.4
Senior Housing	81.0	40.5	64.8	81.0	60.8	64.8
Sugarhouse Center Retail	0.0	129.0	103.2	0.0	129.0	77.4
Subtotal South Side	164	235	254	164	276	223
Total Project	353	545	485	352	502	425
Excess	359	168	228	361	210	288

2. PLANNED DEVELOPMENT INFORMATION:

The project meets the City's objectives by:

- Using a combination of coordinated architectural styles, building forms, building materials, and building relationships.
- Enhancing site characteristics and connectivity to adjoining properties.
- Using design, landscape, and other architectural features with a combination of building forms and materials to create a pleasing environment.
- Providing development amenities that are in the interest of the general public and residents in the Sugar House area.
- Eliminating obsolete and incompatible building structures and uses.
- Utilizing "green" building techniques.

The project represents a substantial upgrade to Wilmington Avenue replacing an obsolete building and screening existing service areas. The property is currently under-utilized and in need of redevelopment. The new development will complement the Sugar House area, activate the street, provide a more urban character, and strengthen connecting links to the Draw/Hidden Hollow, north side development, new plaza, and the existing Sugarhouse shopping center. It will also facilitate bicycle and pedestrian access between the properties and from the streets and transit stops.

The proposed development has been carefully planned to help remediate the problems existing from the current use. Covered public parking is substantially screened from view at the street level. The floor level of new retail space and the entry to the Legacy Senior Housing facility will be level with the street. A sidewalk along the west side of the project will provide a safe connection for pedestrians from the Wilmington Gardens development and its associated public plaza to the existing pedestrian walkway extending to Simpson Avenue of the Sugarhouse Center. New streetscape and sidewalks will be installed along Wilmington Avenue. The building is designed to have complementary architectural style and materials. All these elements will enhance the character of the community. This further reinforces pedestrian activity within the area and among the Sugar House business community.

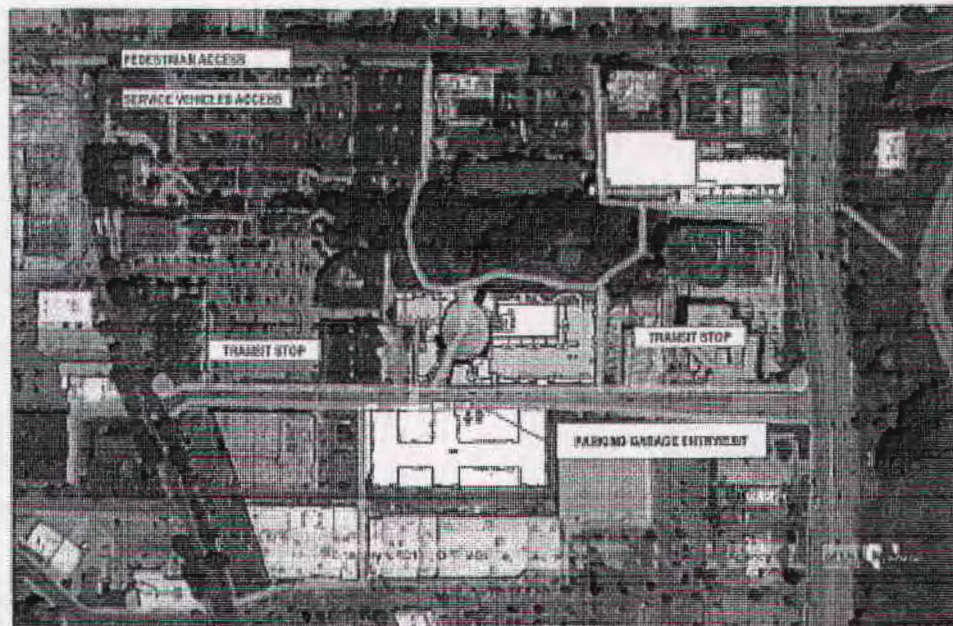
3. MINIMUM PLAN REQUIREMENTS:

Site Plan and Elevation drawings are included herewith as 11x17, 24x36, and in digital format. Also included are Street and Landscape plans, renderings, and other illustrations.

4. SITE PLAN INFORMATION:

Vehicular Access: Access to the parking deck is from Wilmington Avenue near the midpoint of the building structure. Accesses from surface parking to the west and service areas are provided on each end of the building. It is contemplated by the Sugarhouse Center conceptual master plan that the drive on the west end will eventually become a public street extending through to Simpson Avenue. Cross easements with the Sugarhouse Center from Wilmington Avenue around the west, south and east sides of the development will be created to accommodate service and Fire Department circulation.

Pedestrian Access: Primary pedestrian access is from Wilmington Avenue with a mid-block crosswalk connecting directly to the public plaza on the north side of the street. Retail shops facing Wilmington and along the west side will be accessed from sidewalks. There will be a sidewalk running along the entire west end which lines up approximately with the existing walkway to Simpson (refer to Pedestrian and Vehicle Access Diagram below). The primary entry to the senior housing is from Wilmington Avenue. Service entrances to occupiable spaces are from the parking garage. Entrances to the building are provided at parking and building levels including elevator access in compliance with ADA regulations.



Pedestrian & Vehicle Access Diagram

Rooftop/Elevated Plazas: Entire surface above parking is landscaped and accessible to residents and visitors. Raised and potted planter areas on stone paving with trellis shade structures, benches, and other outdoor furnishings will be provided.

Service Areas: All service areas are confined to the alley behind the project and are grouped with those that serve the stores of the Sugarhouse Center. The placement of the building totally screens these existing areas and those required to support the new retail and senior living facilities from the street.

Setbacks: A zero lot line setback is utilized at the street consistent with the urban character of the area. The upper levels of the senior housing have a 15-ft step-back from the street.

ADJACENT LAND USES:

Wilmington Gardens Mixed-Use Development: Consists of 2-buildings located across the street directly to the north separated by a public plaza bordering on Hidden Hollow. The east building has street level restaurants and retail, 2nd level office has 105 apartment units on 5-levels. The west building has street level restaurants and retail with 7-condominium-type townhomes on 2nd level above.

Comcast and Park View Office Buildings: Located across the street and to the east. Comcast building is 3-levels and with single tenant occupancy. Park View is multi-tenant, 6-level office building with multiple levels of underground and semi-exposed parking.

Sugarhouse Center: Owned by Dee's Inc., a partner in the Wilmington Gardens Group. It surrounds the project on the south and east and includes the separately owned Toys R Us parcel. The project is being developed in accordance with a conceptual Sugarhouse Center redevelopment plan that contemplates an eventual gridded street network and the conversion of the shopping center to a mixed use, urban type development. Property boundary lines will be modified by means of a lot line adjustment to the Subdivision Plat. The Lot Line Adjustment Application will be submitted as a separate item of consideration in conjunction with the Planned Development and Conditional Building and Site Design Review Applications.

Sugar House Commons: A retail center with primarily single-story, mid-box buildings located across the street and to the west.

UTILITIES:

Wet Utilities: Facility to be served from existing sanitary sewer, culinary and fire water mains located in Wilmington Avenue in accordance with requirements and standards established by Salt Lake City Public Utilities and Fire Departments. A grease trap and sampling manhole is contemplated within the structure for collection of greasy waste from food service operations. Two appropriately sized water service laterals and meters are contemplated - 2-inch serving the retail area and 4-inch serving senior housing. Occupiable spaces to be fully sprinklered with fire pump, fire riser, and Fire Department connection on the west side of building. Parking deck and stair towers to have wet/dry stand pipes per code.

Storm Drainage: The roof and plaza drainage from the new building will connect to a detention vault having a measured discharge to an existing storm drainage main located in Wilmington Avenue. Drainage facilities will be designed in accordance with discharge requirements and durations as dictated by Salt Lake City and County Engineering Departments' requirements. Drainage from the parking structure will tie to the sanitary system as it is entirely covered by building structure above. There are currently no storm drainage detention facilities on the site. An appropriately sized detention basin at the lowest level of the parking structure with oil/grease separator will be provided.

Electrical, Telephone, Cable TV: Primary power and electrical transformer and switchgear to be located at the southwest corner of the site where it will be substantially screened. All transformers,

ground sleeves, switchgear, and telephone pedestals are shown on site plan. Telephone and data will be located in separate conduits extending from the street into the buildings.

Gas Lines: Separate gas meters will be provided for each retail space. All Senior Housing units will be served by a single meter. Meters to be provided within parking structure. Existing gas line and easement to be relocated to within new service drive.

5. BUILDING AND ELEVATIONS:

Orientation: The primary entrance to the senior housing facility and retail stores is oriented to Wilmington Avenue. Retail stores also wrap around the west side. Though currently these stores face surface parking on the adjoining lot, the master plan for the redevelopment of the Sugarhouse Center contemplates the future extension of a street along the west side connecting to Wilmington Avenue with Simpson Avenue. While the entire street frontage is not lined with retail storefronts, 43% of the frontage is glass exceeding the 40% minimum requirement. Along the west elevation, glass storefronts are 75% of the frontage.

Design: Architectural façade is configured to clearly distinguish the principal entry. A canopy is proposed extending over the sidewalk and to the edge of the loading zone inset directly from the street. Developer will work with the city in securing the necessary encroachment agreements to permit this canopy overhanging the public sidewalk. The surface of the façade utilizes a variety of materials configured on multiple planes to create a non-monolithic appearance. Recessed and projecting balconies are provided on the residential structures to provide additional relief. The residential building is laid out so the connecting links between each wing are centered and set away from the street front. Knee walls are provided in front of all parking areas facing the street or otherwise visible from public view so the front grilles of cars are not visible. Fenestration of openings is laid out to create a residential character.

Materials: Primary materials include clay brick of the same type and color as utilized for the Wilmington Gardens development of the north side of the street, composite concrete paneling and plaster/EIFS. Floor heights between various levels reflect a residential scale and are articulated with traditional cornice elements (refer to Elevation Drawings).

Increase in Height Request: Applicant requests approval to increase building height from 105-ft maximum to 115-ft maximum which increase is permitted by the ordinance subject to approval by Planning Commission (refer to Explanation and Illustrations provided with the Planned Development Application).

6. OTHER:

HOURS OF OPERATION:

The retail operations will be from 8:00 AM to midnight. The office space will be operational from 7:00 AM to 10:00 PM. The assisted living residential housing will be staffed and operational 24 hours a day. Deliveries will occur from between the hours of 7:00 AM and 7:00 PM.

GEOTECHNICAL CONSIDERATIONS:

We have provided a copy of a geotechnical report performed in 2013. The geotechnical report describes the underlying soil characteristics and indicates that the proposed structures can be constructed on conventional spread footings. No ground water is anticipated. Recommendations for temporary shoring and permanent structural/retaining wall designs have also been provided.

SCHEDULE:

Subject to timely approval by the City, the Owner expects to start construction in spring 2014 and complete all work by November 2015.

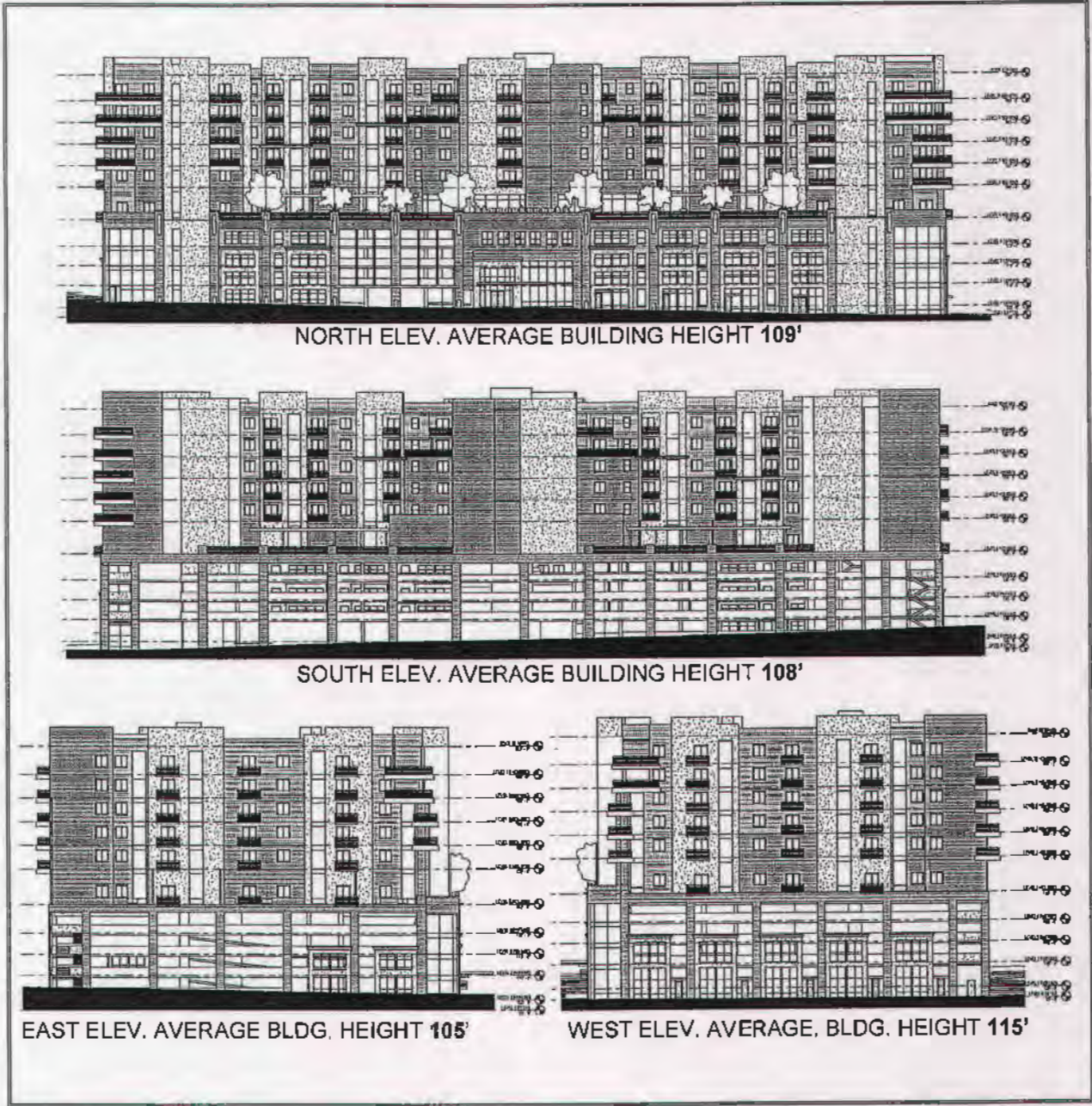
REQUESTED MODIFICATIONS TO STANDARDS FOR CSHBD THRU PD PROCESS:

(Zoning Ordinance – P.D 21A.55 AND CSHBD 21A.26.60 CSHBD)

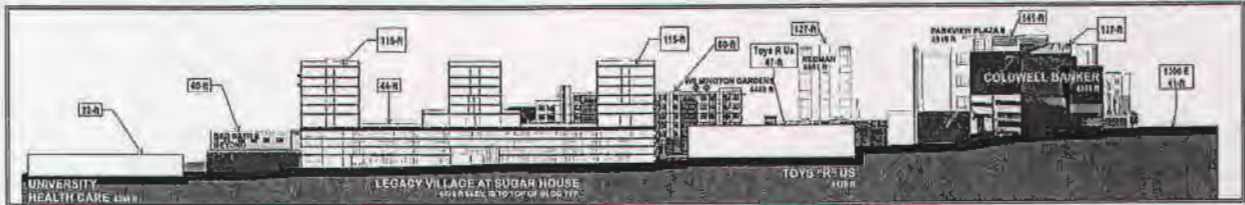
Due to the slope in the roadway, size and character of adjoining properties, and the location of the project within the Sugar House District, we are requesting some exceptions and variances to design standards and zoning criteria. Also, we are providing an explanation of our interpretation of several standards to avoid any misunderstandings. We believe all these requests and interpretations comply with the intent of the Purpose Statement for the Sugar House Zoning District and other governing design regulations, including the City's adopted "urban design element" and that the approval thereof will make for a more aesthetically pleasing and functional project.

Increase in the Average Maximum Height of the Building From 105 Feet to 115 Feet: The Building Height Calculation Illustrations show the methodology used for determining the average building height on each elevation. There is a 9-ft cross slope to the site which causes the west elevation to exceed the maximum height by 9-ft. 3 and 4-ft Increases on the south and north elevations, respectively are also required. The exception is justified based on the following:

- a. The increase required is a result of the grade of the site.
- b. The mean elevation of the site is approximately 35-ft lower than 1300 East.
- c. The top of buildings in the near vicinity (Redman, Westminster, Park Plaza) are higher than the top of the proposed building as measured from sea level (see Relative Height of Existing Buildings Illustration).
- d. There is no increased obstruction to views from residential buildings within the area caused by the additional height.
- e. The additional height allows for greater floor-to-floor heights on the floor having meeting rooms and other common amenity areas, making them more appealing and functional.
- f. The additional height allows for higher ceiling clearances on the upper level apartments, giving them a higher quality and appeal consistent with the upscale character and demographics of the Sugar House and east bench area.
- g. There are no single-family residential lots within more than 1,000-ft so the increased height does not obstruct views, shade, or obstruct light to streets and surface areas.

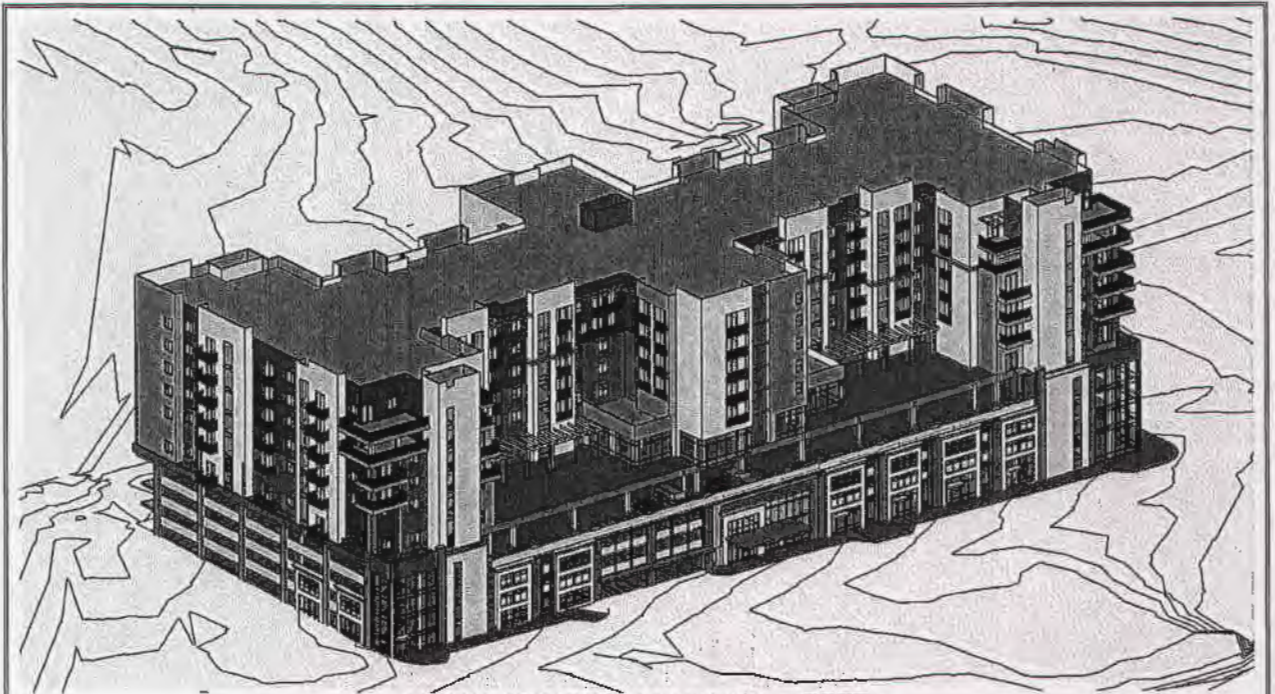


Building Height Calculation Illustrations

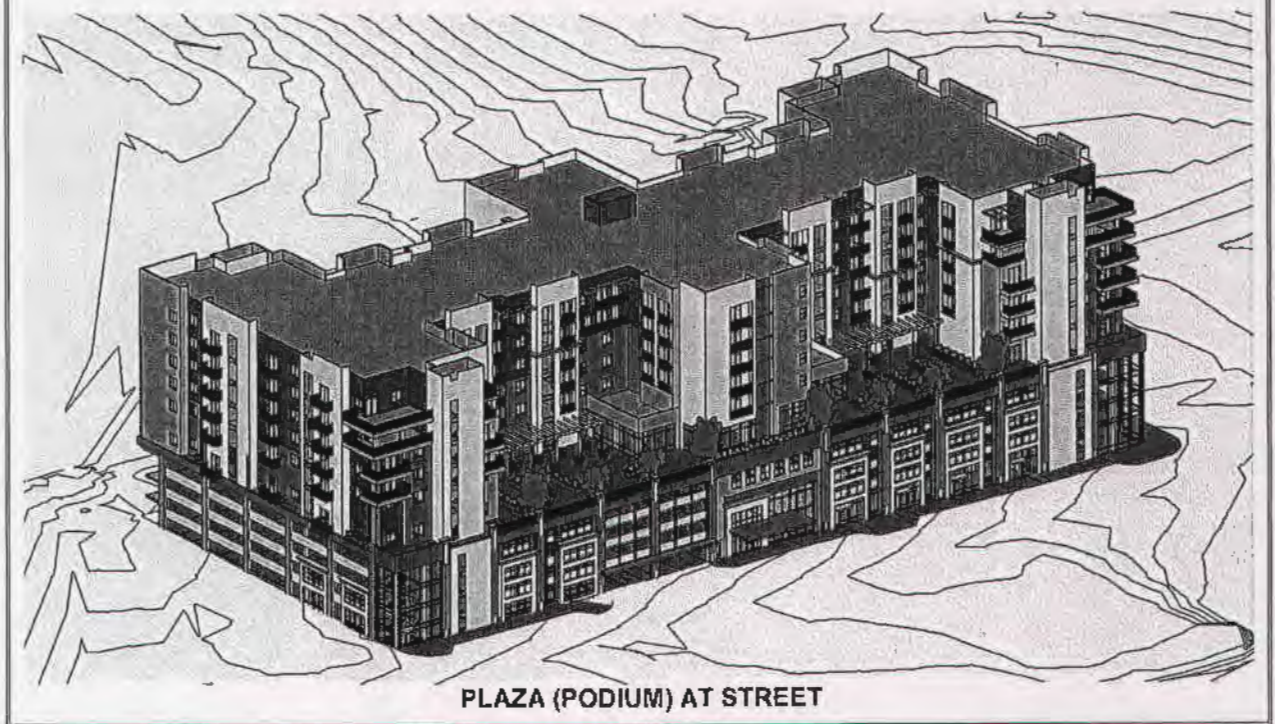


Relative Height of Existing Buildings – East-West Cross Section

Note: Boxed height designations are measured from elevation at northwest corner of retail space



PLAZA (PODIUM) SET BACK 15 FEET

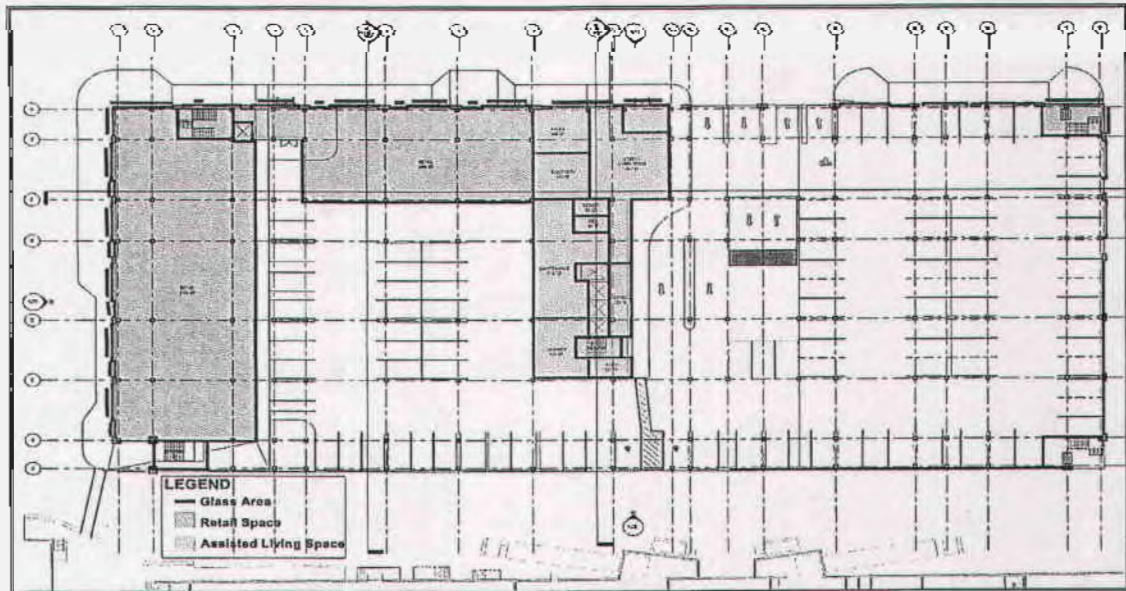


PLAZA (PODIUM) AT STREET

Podium Alternatives Illustration

The Entire Building Frontage of Wilmington Avenue is not Occupiable Space: Vehicular entrance to parking structure and portion of ground level frontage is parking. This is justified based on the following:

- a. The glass area of retail and senior housing primary entrance frontage on Wilmington Avenue exceeds the minimum 40% required by Design Standards Item C1. The actual glass area equals 43%.
- b. Retail storefronts extend across the 1st level of the entire west elevation. That elevation will eventually become a street. This glass area equals approximately 75% on the west end, when averaged with the north elevation, increases the overall exposed glass area to more than 50% of the area visible to the public.
- c. A 13% portion of the frontage is required for the access/exit drives associated with the parking deck.
- d. The street grade slope makes the floor level along the frontage east of the parking deck entrance 1 to 3-ft below the sidewalk. The floor-to-floor height to the 2nd level parking is only 10-ft which is insufficient for the space below to accommodate a first class retail use.
- e. Positioning of the stairway from the upper levels of parking at the northeast corner will direct pedestrians to the sidewalk creating pedestrian traffic along the street.
- f. The façade along Wilmington Avenue is architecturally articulated so the parking structure has a residential scale. Unglazed openings will still allow for views looking in or out of the space and have a residential appearance.



Glass Area & Frontage Illustration

**WILMINGTON GARDENS PARKING AND
LEGACY VILLAGE OF SUGAR HOUSE
SENIOR HOUSING DEVELOPMENT
1200 EAST WILMINGTON AVENUE
SALT LAKE CITY, UTAH
Date: March 31, 2014 (Revised)**

CONDITIONAL BUILDING AND SITE DESIGN REVIEW

PROJECT DESCRIPTION:

See Planned Development Narrative above.

STANDARDS FOR DESIGN REVIEW:

Except as indicated in the Planned Development Application, the proposed project complies with all the design review standards identified on the application form.

- Development is oriented to the street.
- Primary access is oriented to pedestrian and mass transit.
- Building façade detailing, materials, articulation, and fenestration are scaled to facilitate pedestrian interest and interaction, and emphasize the pedestrian level of the building.
- Parking is confined to within the structure and screened with knee walls to minimize visibility from the street and adjacent neighborhoods.
- Lighting is positioned to prevent glare.
- Site circulation and service areas are positioned to minimize pedestrian conflict and are not visible from the street.
- Signage placement emphasizes pedestrian and transit orientation.
- Streetscape, landscape, and lighting will be of the same character and type as that utilized on the north side of the street which has been approved by each appropriate City department.
- As a large-scale development, the building design, orientation, and massing are configured to relate to human scale and the open public spaces of the combined developments include outdoor eating areas, seating, trees and public art/topiaries.

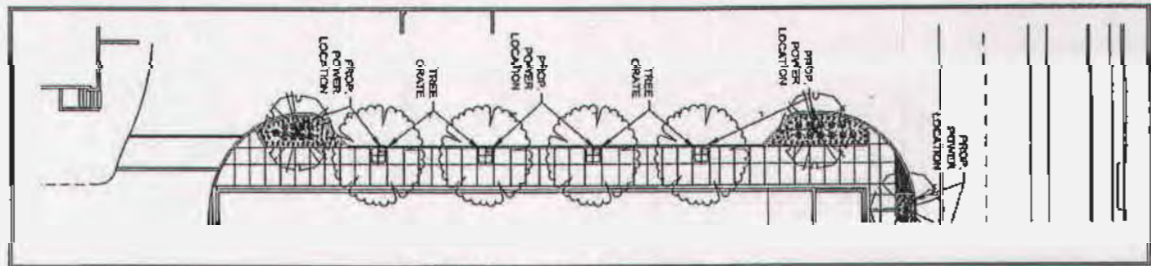
REQUESTED MODIFICATIONS TO STANDARDS FOR CBSD DESIGN REVIEW:

Due to the slope in the roadway, size and character of adjoining properties, and the location of the project within the Sugar House District, we have requested in a separate Planned Development Application some modifications to maximum building height and height of setback requirements. In addition, we are providing an explanation of our interpretation of several standards to avoid any misunderstandings. We believe all these requests and interpretations comply with the intent of the Purpose Statement for the Sugar House Zoning District and other governing design regulations, including the City's adopted "urban

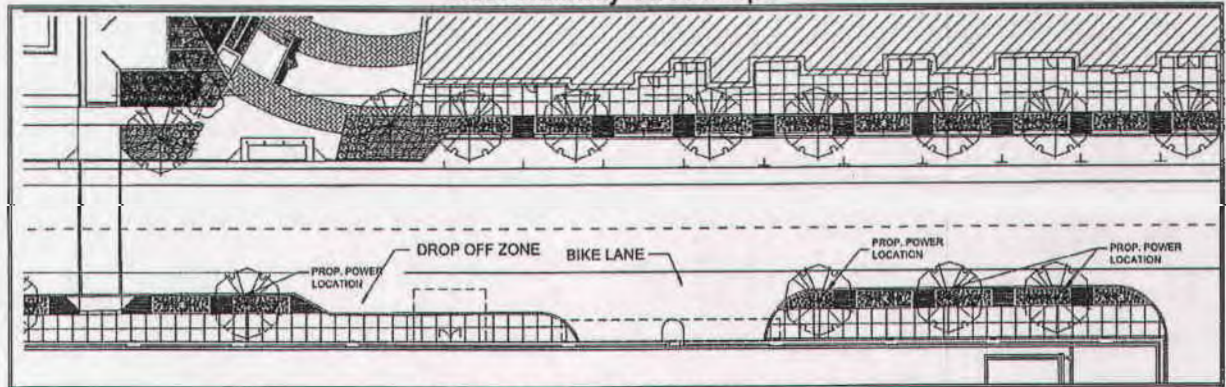
design element" and that the approval thereof will make for a more aesthetically pleasing and functional project.

Design Standards Item J1: "Streetscape improvements shall have one tree per 30 feet of frontage on a street."

- a. Proposed canopy extending over sidewalk at Senior Living street entry, in conjunction with access to the parking structure from the street, prevents placement of trees (refer to Sidewalk Plan Illustration).
- b. Treatment of sidewalk and landscaping will be the same as that used on the north side of Wilmington Avenue.
- c. Trees and planters at edge of podium on 4th level above will create a soft edge at the top of the raised structure above the street.
- d. Landscaping and trees along west side of building where future street will be located are provided at 30-ft spacing.



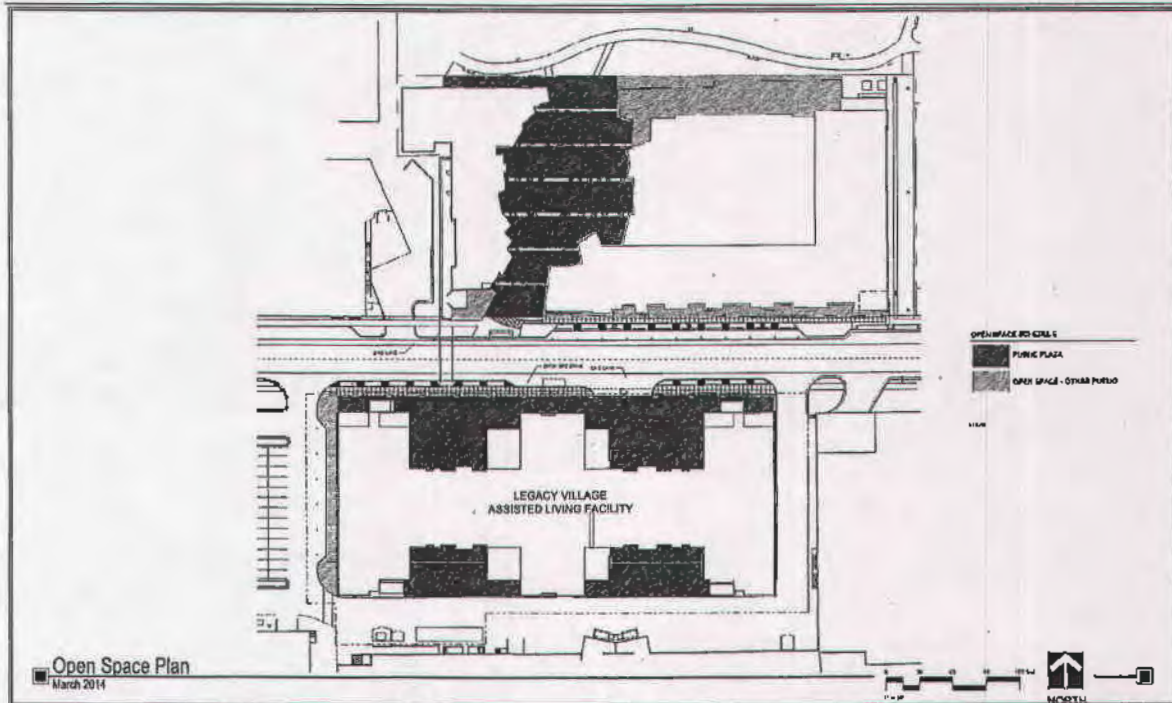
West Walkway Streetscape



Wilmington Avenue Streetscape

Design Standards Item K2: "1-sf of park, plaza, or public space shall be required for every 10-sf of gross building floor area." Public plaza is not provided at the street level on the south side of the street. This is justified based on the following:

- a. The project is part of the Wilmington Gardens Mixed Use Development on the north side. Public plaza exceeding the minimum requirement of both sides of the street is provided on the north side (refer to Public/Open Space Table and Illustration).
- b. Landscaped plazas are provided on upper level of both the north and south side building projects. Such plazas are semi-public and are accessible to residents and other building occupants.
- c. Building coverages exceeding 80% on the south side of Wilmington and at almost 73% combined is consistent with other typical urban developments.



Public/Open Space Illustration

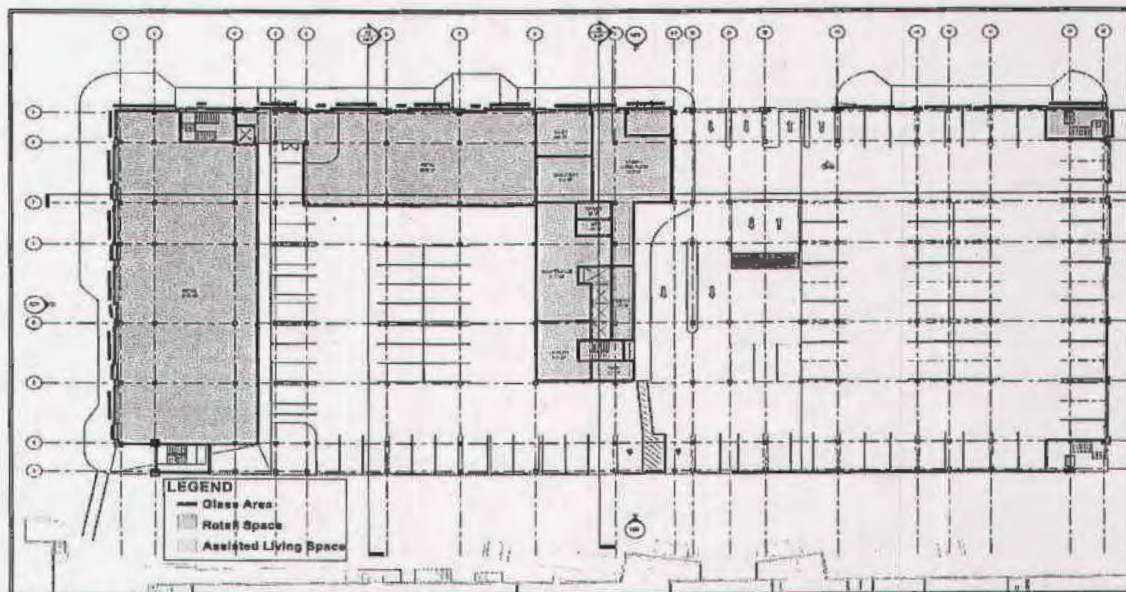
PUBLIC OPEN SPACES TABLES						
Description	North Development		South Development		Combined	
	Area	% of Total	Area	% of Total	Area	% of Total
Site Area Coverage:						
Building Area Footprint	57,832	62.63%	67,090	75.91%	124,922	69.13%
Access and Circulation	12,339	13.36%	18,530	20.97%	30,869	17.08%
Public Plazas, Seating Areas, & Open Space	20,067	21.73%	0	0.00%	20,067	11.10%
Street Front Setbacks & Public Walks	2,096	2.27%	2,760	3.12%	4,856	2.69%
TOTAL	92,334	100.00%	88,380	100.00%	180,714	100.00%
11.10% of Total Site Area is Used for Open Public Space (1.11-sf Per 10.0-sf)						

	North Development	South Development	Combined
Building Areas:			
Street Level Excluding Parking Deck	57,832	17,933	75,765
Upper Levels	170,168	266,092	436,260
TOTAL	228,000	284,025	512,025

Required Public Open Space	22,800	28,403	51,203
Provided Public Open Space Surface Level	22,163	2,760	24,923
Semi-Public Open Space Rooftop Levels	6,150	18,138	24,288
TOTAL COMBINED OPEN SPACE	28,313	20,898	49,211
Rate of Open Space per 10-sf of Building Area	1.24-sf/10-sf	0.74-sf/10-sf	0.96-sf/10-sf

The Entire Building Frontage of Wilmington Avenue is not Occupiable Space: Vehicular entrance to parking structure and portion of ground level frontage is parking. This is justified based on the following:

- The glass area of retail and senior housing primary entrance frontage on Wilmington Avenue exceeds the minimum 40% required by Design Standards Item C1. The actual glass area equals 43%.
- Retail storefronts extend across the 1st level of the entire west elevation. That elevation will eventually become a street. This glass area equals approximately 75% on the west end, and, when averaged with the north elevation, increases the overall exposed glass area to more than 50% of the area visible to the public.
- A 13% portion of the frontage is required for the access/exit drives associated with the parking deck.
- The street grade slope makes the floor level along the frontage east of the parking deck entrance 1 to 3-ft below the sidewalk. The floor-to-floor height to the 2nd level parking is only 10-ft which is insufficient for the space below to accommodate a first class retail use.
- Positioning of the stairway from the upper levels of parking at the northeast corner will direct pedestrians to the sidewalk creating pedestrian traffic along the street.
- The façade along Wilmington Avenue is architecturally articulated so the parking structure has a residential scale. Unglazed openings will still allow for views looking in or out of the space and have a residential appearance.



Glass Area & Frontage Illustration

PARKING CALLS

From: Lynn Woodbury (l_woodbury@woodburycorp.com)
Sent: Tuesday, May 13, 2014 11:51 AM
To: Traughber, Lex; Walsh, Barry; Weiler, Scott
Cc: Aabir Malik (Aabir@colmenagroup.com); Ryan Griffiths (rgriffiths@beecherwalker.com); 'Lyle Beecher'; Brad Miles (brad@mpad.biz); 'Steve Miles'
Subject: Wilmington Gardens Parking and Assisted Living

Lex/Barry:

I spoke with Barry and he asked me to make a few changes on the parking calculations. These include:

1. Changing the minimum office parking requirement on the north building to 3-spaces per 1,000-sf.
2. Changing the South Side 1-bedroom independent living units to ½-space per unit since they are "senior" living units.
3. Removing the surface street parking spaces from the calculations. There will still be 10 parallel parking spaces on the North Side and 2 on the South Side, but they are not included in the Spaces Provided column.
4. Increased number of spaces provided in parking deck from 534 to 545. The architects made some internal changes to achieve more parking on each level.
5. Adjusted the totals and calculations of bicycle parking and transportation demand management impacts based on the adjusted parking totals.
6. Added some clarification footnotes at the bottom of the Summary Table.

Based on these modifications, the minimum required parking is 682-spaces. 700-spaces have been provided which is less than the 125% maximum limitation.

NORTH BUILDING

STANDARD REQUIREMENTS	Area (SF) ¹ Units	Code Requirement	Spaces Required	Spaces Provided	Explanation
General Land Use Classification					
North Side					
East Building Office	41,186	3 Per 1,000	123	155	Underground
East Building Retail	33,935	2 Per 1,000	68	Not Included	10-Street Spaced
East Building Restaurant	5,545	2 Per 1,000	11		
East Building Housing	105	1.5 Per Unit	158		
Subtotal East Building			360	155	
West Building Retail	4,477	2 Per 1,000	9		
West Building Restaurant	5,992	2 Per 1,000	12		
West Building Condominiums	7	2 Per Unit	14		
Subtotal West Building			35	0	
TOTAL NORTH SIDE			395	155	
From South Side - Min. Per RDA Agreement				107	
From Westminster - Original Allocation ²				123	
¹ Area excludes mechanical equipment and storage areas.					
² Not available permanently. To be provided in South Side Parking Deck.					

SUGARHOUSE CENTER

Sugarhouse Center Retail					
Displaced Spaces	25,800	5 per 1,000	129		
TOTAL SUGARHOUSE CENTER RETAIL			129	129	

**PARKING DECK AND ASSISTED LIVING PROJECT
SOUTH SIDE**

General Land Use Classification	Area (SF) ¹ Units	Code Requirement	Spaces Required	Spaces Provided	Explanation
South Side					
Retail	12,200	2 Per 1,000	24	94	Deck Level 1
Assisted Living/Memory Care				147	Deck Level 2
Employees	75	1 per 4	19	152	Deck Level 3
Rooming Units (Assisted Living)	138	1 per 4	35	152	Deck Level 4
Residential (Independent Living)				Not Included	2-Street Spaces
2-Bedroom Units	10	2 Per Unit	20		
1-Bedroom & Studio Units	120	½ Per Unit	60		
Subtotal From Uses			158	545	
Deduct displaced spaces from Sugarhouse Center				(129)	
Subtotal Maximum Allowable			0	(129)	
GRAND TOTAL SOUTH SIDE			158	416	
Bicycle Parking					
Commercial and Residential		5%	8	20	

PARKING SUMMARY

SUMMARY REQUIRED ON SOUTH SIDE				
From North Side			395	155
From South Side			158	416
From Sugarhouse Center			129	129
TOTAL			682	700
Allowable Increases (based on South Side minimum required)				
Per 21A.44.030-H.2 - Maximum Parking Limitation	156 ¹	125%	40	
Per 21A.44.050 - Trans. Demand Management Strategies	196 ²	125%	50	
Total Maximum Allowable			772	700
Transportation Management Bicycle Parking (South side only)				
Commercial and Residential	248	5%	12	
Secured Bicycle Spaces		50%	6	
Electric Car Requirement (South Side)		1 per 25	10	
¹ Based on required spaces for South Side uses only.				
² Sum of South Side required spaces plus maximum parking limitation.				

Sorry for these last minute changes.

Many Thanks
Lynn

From: Lynn Woodbury
Sent: Saturday, May 10, 2014 6:55 PM
To: 'lex.traughber@slcgov.com'; Walsh, Barry (Barry.Walsh@slcgov.com); Weiler, Scott
Cc: Aabir Malik (Aabir@colmenagroup.com); Ryan Griffiths (rgriffiths@beecherwalker.com); Lyle Beecher; Brad Miles (brad@mpad.biz); Steve Miles
Subject: Wilmington Gardens Parking and Assisted Living

Lex/Barry:

Here's the modified analysis on parking required separated by each component of the project as you requested, with a brief explanation of each part.

Wilmington Gardens Project North Side

The table below shows what is required for the project on the north side of the street. The approval on the north side was based on Wilmington Gardens group agreeing to provide the parking on property on the south side of the street in combination with utilizing parking spaces in the Westminster building parking lot. The spaces in the Westminster parking deck are available short term until the parking can be provided elsewhere. I provided to you with a copy of the agreement with the RDA requiring the owners to construct a minimum of 107 parking spaces on the south side of Wilmington.

It is now our intent to provide all of the required parking on the south side, but initially utilize parking in the Westminster deck until the South side parking is available. Occupancy permits will be only be permitted on space on the north side to the extent the minimum parking can be provided. In other words, only a portion of the space on the north side can be occupied until the South side parking is constructed

STANDARD REQUIREMENTS	Area (SF) ¹ Units	Code Requirement	Spaces Required	Spaces Provided	Explanation
General Land Use Classification					
North Side					
East Building Office	41,186	1.25 Per 1,000	51	155	Underground
East Building Retail	33,935	2 Per 1,000	68	10	Surface/Street
East Building Restaurant	5,545	2 Per 1,000	11		
East Building Housing	105	1.5 Per Unit	158		
Subtotal East Building			288	165	
West Building Retail	4,477	2 Per 1,000	9		
West Building Restaurant	5,892	2 Per 1,000	12		
West Building Condominiums	7	2 Per Unit	14		
Subtotal West Building			35	0	
TOTAL NORTH SIDE			323	165	
From South Side - Min. Per RDA Agreement			107		
From Westminster - Original Allocation ²			51		
¹ Area excludes mechanical equipment and storage areas.					
² Not available permanently. To be provided in South Side Parking Deck.					

Sugarhouse Center Retail Requirements

The table below shows the number of existing parking spaces within this Sugarhouse Center that are being displaced by the assisted living development. In order to comply with the requirements of the Sugarhouse Center cross easement agreement, the spaces need to be replaced and therefore, need to be included in the new parking structure. A copy of the easement agreement was delivered to you. Refer to Section 6.03 in conjunction with the Site Plan Exhibits. There are 18 displaced spaces in conjunction with the Keller Williams building that are not being replaced as that property is not part of the shopping center.

Sugarhouse Center Retail					
Displaced Spaces	25,800	5 per 1,000	129		
TOTAL SUGARHOUSE CENTER RETAIL			129	129	

Parking Deck and Assisted Living Project South Side

The table below shows the minimum amount of parking required to accommodate the uses on the south side of the project for the assisted living development and ground-floor retail. It is based on the current offstreet parking ordinance. The parking required for the assisted living portion is based on the combination of the number of employees during the maximum shift, the number of state licensed assisted/memory care units, and the number of one and two bedroom independent living units with different allocations as dictated by the ordinance. It also includes the parking attributed to the ground-floor retail.

General Land Use Classification	Area (SF) ¹ Units	Code Requirement	Spaces Required	Spaces Provided	Explanation
South Side					
Retail	12,200	2 Per 1,000	24	92	Deck Level 1
Assisted Living/Memory Care				144	Deck Level 2
Employees	75	1 per 4	19	149	Deck Level 3
Rooming Units (Assisted Living)	138	1 per 4	35	149	Deck Level 4
Residential (Independent Living)				2	Surface/Street
2-Bedroom Units	10	2 Per Unit	20		
1-Bedroom & Studio Units	120	1 Per Unit	120		
Subtotal From Uses			218	536	
Deduct displaced spaces from Sugarhouse Center				(129)	
Subtotal Maximum Allowable			122	(129)	
GRAND TOTAL SOUTH SIDE			340	409	
Bicycle Parking					
Commercial and Residential		5%	17	20	

Parking Summary

The table below combines the parking requirements of each of the areas to come up with an aggregate total for the project and to show what the minimum required in the parking deck needs to be – 670 spaces. It also shows the maximum being provided – 701 spaces. There are 31 parking spaces all more being provided than the minimum required. While the maximum parking limitations in the current ordinance allow for a 125% increase, the amount being provided only exceeds the minimum by 114%.

The table also calculates, based on the minimum south side requirements, the number of additional parking spaces that would be allowed based on the maximum parking limitations of 125%, as well as the additional 125% that would be allowed if transportation demand management strategies are implemented.

Even though no additional increase with respect to transportation demand management alternatives is being requested at this time, we are implementing several of the major and minor strategies. Major strategies include: 1) providing of 50% secured bicycle parking for employees and residents, 2) providing the business center, 3) providing a gym and workout facility for the residents, and 4) providing restaurant and food service facilities for the residents. Minor strategies include: 1) permanently sheltered and secured bicycle facilities, 2) dedicated parking spaces for car poolers, and 3) making spaces available for rent to outside users. Although spaces for electric cars are not being provided initially, we plan to stub conduit to the required number of parking spaces for such electric car parking in the future.

SUMMARY REQUIRED ON SOUTH SIDE					
From North Side			323	165	
From South Side			218	407	
From Sugarhouse Center			129	129	
TOTAL			670	701	
Allowable Increases (based on South Side minimum required)					
Per 21A.44.030-H.2 - Maximum Parking Limitation	218	125%	54		
Per 21A.44.050 – Trans. Demand Management Strategies	272	125%	68		
Total Maximum Allowable			792	701	
Transportation Management Bicycle Parking (South side only)					
Commercial and Residential	340	5%	17		
Secured Bicycle Spaces		50%	9		
Electric Car Requirement (South Side)		1 per 25	14		

Thank you for your patience.
Call me if you have any questions regarding the above.

Lynn

OPEN SPACE CALCS

From: Lynn Woodbury [l_woodbury@woodburycorp.com]
Sent: Sunday, May 11, 2014 8:43 AM
To: Traughber, Lex; Walsh, Barry; Weiler, Scott
Cc: Aabir Malik (Aabir@colmenagroup.com); Ryan Griffiths (rgriffiths@beecheerwalker.com); Lyle Beecher; Brad Miles (brad@mpad.biz); Steve Miles
Subject: RE: Wilmington Gardens Parking and Assisted Living
Attachments: balcony sf.pdf

Lex:

The chart below shows the calculation of the open space using the south side project only and including the balconies on the assisted living units. The majority of the balconies extend out from the wall rather than bumping in. The attachment is the architect's calculation of the balcony areas.

The actual outdoor open space is 12.3 ft.² per 1000 ft.² of building area which exceeds the 10.0 ft.² requirement.

OPEN SPACE CALCULATION		South Development
Building Areas:		
Street Level Excluding Parking Deck		17,933
Upper Levels		266,092
	TOTAL	284,025
Required Public Open Space @ 1-sf Per 10-sf		28,403
Open Space:		
Provided Public Open Space Surface Level		2,760
Semi-Public Open Space Rooftop Levels		18,138
Balconies Level 6-10		14,044
	TOTAL COMBINED OPEN SPACE	34,942
Actual Provided		12.3-sf Per 100
Rate of Open Space per 10-sf of Building Area		12.30%

Based on this, it looks like no exception is needed for the open space requirement.

Many thanks,
Lynn

ATTACHMENT F: EXISTING CONDITIONS

Sugar House Master Plan Discussion

The Sugar House Master Plan (2005) contains a policy that new development in the Sugar House Business District should follow the design guidelines contained in the “Sugar House Business District Design Guideline Handbook” (page 15). This Handbook outlines guidelines specifically related to building architecture and siting. While the proposal meets many of the design guidelines outlined in this document, there are several that are related to building massing and scale that appear to discourage the applicant’s proposal as it relates to height. These guidelines are:

- Relate the mass and height of new buildings to the historical scale of Sugar House development to avoid an overwhelming or dominating appearance in new construction.
- Ensure that features of a building such as color, detail, materials, and scale are responsive to district character, neighboring buildings, and the pedestrian.
- Design new construction to complement and enhance the character of adjacent older buildings having architectural merit through appropriate scale, massing, rhythm, and materials.
- Require the massing and scale of structures to be compatible with surrounding uses.

The maximum height limit adopted in the Zoning Ordinance was done so in an effort to achieve these Master Plan policies and guidelines. To allow additional building height or additional stepback height is contrary to these policies and guidelines, and therefore does not achieve the “vision” for the District.

Zoning

CSHBD1 Zone Standards	Finding	Rationale
Minimum Lot Size: No minimum lot area or width is required.	Complies	
Minimum Yard Requirements: 1. Front And Corner Side Yards: No minimum yard is required. 2. Maximum Setback: The maximum setback is fifteen feet (15'). Exceptions to this requirement may be authorized through the conditional building and site design review process, subject to the requirements of chapter 21A.59 of this title, and the review and approval of the planning commission. 3. Interior Side Yards: None	Complies	

<p>required.</p> <p>4. Rear Yards: No minimum yard is required.</p>		
<p>Maximum Height: Maximum height limits vary, depending upon location and land use. The following regulations shall apply for each area within the CSHBD zone:</p> <p>CSHBD1:</p> <p>The maximum building height in the CSHBD1 zone shall not exceed thirty feet (30') for those buildings used exclusively for nonresidential purposes.</p> <p>Additional building square footage may be obtained up to a maximum building height of one hundred five feet (105'); however, for each additional floor of nonresidential use above thirty feet (30'), one floor of residential use is required.</p> <p>Maximum building height may be obtained to one hundred five feet (105') for any building subject to at least ninety percent (90%) of all parking for said building being provided as structured parking, and in the case of a nonresidential building, the developer shall provide off site residential development that is equal to or greater than the square footage of the nonresidential building that exceeds thirty feet (30') in height.</p> <p>Stepback Requirement:</p> <p>In the CSHBD1 and CSHBD2 zoning districts, floors rising above thirty feet (30') in height shall be stepped back fifteen (15) horizontal feet from the building foundation at grade, in those areas abutting low density, single-family residential development and/or public</p>	<p>Does not comply</p>	<p>The applicant is seeking relief from the building height standard through the Special Exception process. Likewise, the applicant is seeking relief from the required building setback through the Planned Development process.</p>

streets.		
<p>Minimum First Floor Glass: The first floor elevation facing a street of all new buildings or buildings in which the property owner is modifying the size of windows on the front facade within the CSHBD Sugar House business district zones, shall not have less than forty percent (40%) glass surfaces. All first floor glass shall be nonreflective. Display windows that are three-dimensional and are at least two feet (2') deep are permitted and may be counted toward the forty percent (40%) glass requirement. Exceptions to this requirement may be authorized through the conditional building and site review process subject to the requirements of <u>chapter 21A.59</u> of this title, and the review and approval of the planning commission.</p>	Complies	
<p>Mechanical Equipment: Rooftop mechanical equipment should be screened with architecturally integrated elements of the building.</p>	Complies	
<p>First Floor/Street Level Requirements: The first floor or street level space of all buildings within this area shall be required to provide uses consisting of residential, retail goods establishments, retail service establishments, public service portions of businesses, restaurants, taverns/brewpubs, social clubs, art galleries, theaters or performing art facilities.</p>	Does not comply.	The applicant is seeking relief from this requirement through the Planned Development process.

ATTACHMENT G: ANALYSIS OF PD STANDARDS

21a.55.050: Standards for Planned Developments: The Planning Commission may approve, approve with conditions, or deny a Planned Development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards::

Standard	Finding	Rationale
<p>A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section:</p> <p>A. Combination and coordination of architectural styles, building forms, building materials, and building relationships;</p> <p>B. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion;</p> <p>C. Preservation of buildings which are architecturally or historically significant or contribute to the character of the city;</p> <p>D. Use of design, landscape, or architectural features to create a pleasing environment;</p> <p>E. Inclusion of special development amenities that are in the interest of the general public;</p> <p>F. Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation;</p> <p>G. Inclusion of affordable housing with market rate housing; or</p> <p>H. Utilization of "green" building techniques in development.</p>	<p>Complies</p>	<p>The applicants intend to achieve objectives D, E and H. To accomplish this, the applicants are proposing a development that will create a pleasing environment in the Sugar House Business District. The proposed development is similar to several developments that have been approved recently in the Sugar House Business District including Sugar House Crossing (2100 S & Highland Drive), Liberty Village Apartments at Sugar House (Elm and McClelland), and Wilmington Gardens (across the street). The applicant's primary focus on meeting the Planned Development Objective "D" is to provide ample parking for the proposed development as well as surround properties.</p>
<p>B. Master Plan And Zoning Ordinance Compliance: The proposed planned development shall be:</p> <p>1. Consistent with any adopted policy set forth in the citywide, community, and/or small area master plan and future land use map applicable to the site where the planned development will be located, and</p> <p>2. Allowed by the zone where the planned development will be located or by another applicable provision of this title.</p>	<p>Partially Complies</p>	<p>A discussion of Sugar House Master Plan (SHMP) policies is included in Attachment F – Existing Conditions. While the proposed project does meet many of the policies outlined in this Plan, there are several policies that would discourage the proposed development particularly in terms of building scale, mass, and height. Please refer to Attachment F for a detailed discussion.</p> <p>The SHMP envisions a business district that is at a human/pedestrian scale. This is implemented by the restrictions on building height, as well as stepback requirements, in the Zoning Ordinance.</p> <p>The use is currently a proposal before the City Council as a Zoning Ordinance text amendment. Planning Staff anticipates that the City Council will allow the senior housing/assisted living use in the CSHBD Zone.</p>
<p>C. Compatibility: The proposed planned</p>	<p>Partially</p>	<p>Planning Staff asserts that due to the size and scale</p>

<p>development shall be compatible with the character of the site, adjacent properties, and existing development within the vicinity of the site where the use will be located. In determining compatibility, the planning commission shall consider:</p> <ol style="list-style-type: none"> 1. Whether the street or other adjacent street/access; means of access to the site provide the necessary ingress/egress without materially degrading the service level on such street/access or any 2. Whether the planned development and its location will create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected, based on: <ol style="list-style-type: none"> a. Orientation of driveways and whether they direct traffic to major or local streets, and, if directed to local streets, the impact on the safety, purpose, and character of these streets; b. Parking area locations and size, and whether parking plans are likely to encourage street side parking for the planned development which will adversely impact the reasonable use of adjacent property; c. Hours of peak traffic to the proposed planned development and whether such traffic will unreasonably impair the use and enjoyment of adjacent property. 3. Whether the internal circulation system of the proposed planned development will be designed to mitigate adverse impacts on adjacent property from motorized, nonmotorized, and pedestrian traffic; 4. Whether existing or proposed utility and public services will be adequate to support the proposed planned development at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources; 5. Whether appropriate buffering or other mitigation measures, such as, but not limited to, landscaping, setbacks, building location, sound attenuation, odor control, will be provided to protect adjacent land uses from excessive light, noise, odor and visual impacts and other unusual disturbances from trash collection, deliveries, and mechanical equipment resulting from the proposed planned development; and 6. Whether the intensity, size, and scale of the proposed planned development is compatible with adjacent properties. 	<p>Complies</p>	<p>(increased height of the required setback) of the proposed project, compatibility with adjacent properties is compromised. Again, zoning ordinance standards regarding building height and required building setback were adopted to implement SHMP policies, and to ensure that new construction is compatible.</p>
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<p>If a proposed conditional use will result in new construction or substantial remodeling of a commercial or mixed used development, the design of the premises where the use will be located shall conform to the conditional building and site design review standards set forth in chapter 21A.59 of this title.</p>		
<p>D. Landscaping: Existing mature vegetation on a given parcel for development shall be maintained. Additional or new landscaping shall be appropriate for the scale of the development, and shall primarily consist of drought tolerant species;</p>	<p>Will be condition of any project approval.</p>	
<p>E. Preservation: The proposed planned development shall preserve any historical, architectural, and environmental features of the property;</p>	<p>Not Applicable</p>	
<p>F. Compliance With Other Applicable Regulations: The proposed planned development shall comply with any other applicable code or ordinance requirement.</p>	<p>Will be condition of any project approval.</p>	

ATTACHMENT H: ANALYSIS OF CB&SD REVIEW STDS

21a.59.060: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

Standard	Finding	Rationale
A. Development shall be primarily oriented to the street, not an interior courtyard or parking lot.	Complies	The development is primarily oriented toward Wilmington Avenue.
B. Primary access shall be oriented to the pedestrian and mass transit.	Complies	Primary access to retail and to the proposed senior housing will be oriented toward Wilmington Avenue.
C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.	Partially Complies	A variety of materials (brick veneer, glass, fiber cement siding, EIFS) is proposed on each façade, and configured on multiple planes to create a non-monolithic appearance. Recessed and projecting balconies are provided on the residential portion of the structure to provide additional relief. Approximately 50% of the street level façade along Wilmington Avenue is comprised of "active" retail uses, with the required amount of glass. The other half is comprised of a vehicle entrance into the parking lot and "non-active" uses (the parking garage itself). The applicant contends that the street level uses on the east end of the north façade are not possible or not feasible due to the slope of the property.
D. Architectural detailing shall be included on the ground floor to emphasize the pedestrian level of the building.	Partially Complies	Approximately 50% of the street level façade along Wilmington Avenue is comprised of "active" retail uses, with the required amount of glass. The other half is comprised of a vehicle entrance into the parking lot and "non-active" uses (the parking garage itself). The applicant contends that the street level uses on the east end of the proposed building are not possible or not feasible due to the slope of the property. Active uses are proposed on the west façade of the building at street level with glass storefronts of approximately 75%.
E. Parking lots shall be appropriately screened and landscaped to minimize their impact on adjacent neighborhoods. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods.	Complies	The parking is structured. Adjacent land uses are all commercial or mixed use. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent properties.
F. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the street or other pedestrian facilities.	Complies	The applicant meets parking and on-site circulation requirements. The applicant has designed the project to minimize vehicular traffic and pedestrian conflict.
G. Dumpsters and loading docks shall be appropriately screened or located within the structure.	Complies	Dumpsters and loading docks will be located on the rear of the proposed building; not visible from public way.
H. Signage shall emphasize the pedestrian/mass transit orientation.	Will be condition of any project approval.	All signage will need to be proposed to be consistent with zoning regulations for the CSHBD District.
I. Lighting shall meet the lighting levels and design requirements set forth in chapter 4 of the Salt Lake City lighting master plan dated May 2006.	Will be condition of any project approval.	All lighting shall meet the lighting levels and design requirements set forth in chapter 4 of the Salt Lake City lighting master plan dated May 2006.
J. Streetscape improvements shall be provided as follows: 1. One street tree chosen from the street tree list consistent with the city's urban forestry	Will be condition of any project approval.	The applicant is proposing elements to meet this requirement. A canopy over the sidewalk at the senior living street entry is proposed that may prevent the planting of the required (tree(s)) in this area. If an

<p>guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester.</p> <p>2. Landscaping material shall be selected that will assure eighty percent (80%) ground coverage occurs within three (3) years.</p> <p>3. Hardscape (paving material) shall be utilized to designate public spaces. Permitted materials include unit masonry, scored and colored concrete, grasscrete, or combinations of the above.</p> <p>4. Outdoor storage areas shall be screened from view from adjacent public rights of way. Loading facilities shall be screened and buffered when adjacent to residentially zoned land and any public street.</p> <p>5. Landscaping design shall include a variety of deciduous and/or evergreen trees, and shrubs and flowering plant species well adapted to the local climate.</p>		<p>encroachment agreement is not executed, the required landscaping must be installed in the area of the proposed canopy in compliance with this section of Code. Landscaping and hardscape materials will be reviewed at the time of issuance of any building permit. Outdoor storage, dumpster and loading areas will be screened behind the building away from public view.</p>
<p>K. The following additional standards shall apply to any large scale developments with a gross floor area exceeding sixty thousand (60,000) square feet:</p>		
<p>1. The orientation and scale of the development shall conform to the following requirements:</p> <p>a. Large building masses shall be divided into heights and sizes that relate to human scale by incorporating changes in building mass or direction, sheltering roofs, a distinct pattern of divisions on surfaces, windows, trees, and small scale lighting.</p> <p>b. No new buildings or contiguous groups of buildings shall exceed a combined contiguous building length of three hundred feet (300').</p>	<p>Partially Complies</p>	<p>The surface of the facades utilize a variety of materials (brick veneer, glass, fiber cement siding, EIFS) configured on multiple planes to create a non-monolithic appearance. Recessed and projecting balconies are provided on the residential portion of the structure to provide additional relief.</p> <p>The applicant project does not meet height limit requirements of the CSHBD Zone (Section 21A.26.060(G)(1)).</p> <p>Approximately 50% of the street level façade along Wilmington Avenue is comprised of "active" retail uses, with the required amount of glass. The other half is comprised of a vehicle entrance into the parking lot and "non-active" uses (the parking garage itself). Section 21A.26.060(J) outlines First Floor/Street Level Requirements and reads, "The first floor or street level space of all buildings with this area shall be required to provide uses consisting of residential, retail goods establishments, retail service establishments, public service portions of businesses, restaurants, taverns/brewpubs, social clubs, art galleries, theatres, or performing art facilities. The applicant's proposal does not meet this requirement.</p> <p>In addition, the applicant is requesting through the Planned Development process a relaxation of the standard for a 15' setback of the building at 30' required per Section 21A.26.060(G)(3). The intent of</p>

		<p>this requirement is to give the impression that any given building greater than 30' in height is not so overwhelming from the pedestrian perspective adding to the human scale of a development. The applicant is requesting that the setback occur at 40'.</p> <p>The proposed contiguous building length is approximately 390', exceeding the maximum of 300' by 90'. Planning Staff would suggest that the building is sufficiently articulated at the street level with various planes of relief to provide pedestrian interest. In other words, the length of the building is broken up with various planes and materials such that a continuous and monotonous "wall" as perceived by a pedestrian. The building is broken up into various retail spaces, senior housing entrance and garage entrance/exit to warrant a relaxation of this standard.</p>
<p>2. Public spaces shall be provided as follows:</p> <p>a. One square foot of plaza, park, or public space shall be required for every ten (10) square feet of gross building floor area.</p> <p>b. Plazas or public spaces shall incorporate at least three (3) of the five (5) following elements:</p> <p>(1) Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");</p> <p>(2) A mixture of areas that provide shade;</p> <p>(3) Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;</p> <p>(4) Water features or public art; and/or</p> <p>(5) Outdoor eating areas.</p>	<p>Complies and will be condition of any project approval.</p>	<p>The applicant has provided calculations to show that they meet the requirement for one square foot of plaza, park, or public space for every ten square feet of gross floor area.</p> <p>The applicant will need to include plans to meet part 2(b) at the building permit phase, and will need to satisfy this requirement prior to the issuance of said building permit.</p>
<p>I. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as adopted master plan policies, the city's adopted "urban design element" and design guidelines governing the specific area of the proposed development. Where there is a conflict between the standards found in this section and other adopted plans and regulations, the more restrictive regulations shall control.</p>	<p>Partially Complies</p>	<p>The purpose of the CSHBD (Sugar House Business District) is to promote a walkable community with a transit oriented, mixed-use town center that can support a twenty four (24) hour population. The CSHBD provides for residential, commercial and office use opportunities, with incentives for high density residential land use in a manner compatible with the existing form and function of the Sugar House Master Plan and the Sugar House Business District.</p> <p>The proposed development, in general, complies with the purposed statement of the Sugar House Business District. The issue with the proposal is that it does not comply with major design regulations within the Zone ie. Building height, setback height, and active street level uses.</p>

(Ord. 15-13, 2013)

ATTACHMENT I: ANALYSIS OF SPECIAL EXCEPTION STDS

21a.52.060: General Standards and Considerations for Special Exceptions: No application for a special exception shall be approved unless the planning commission or the planning director determines that the proposed special exception is appropriate in the location proposed based upon its consideration of the general standards set forth below and, where applicable, the specific conditions for certain special exceptions.

Standard	Finding	Rationale
A. Compliance With Zoning Ordinance And District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.	Partially Complies	The purpose of the CSIBD Sugar House Business District is to promote a walkable community with a transit oriented, mixed-use town center that can support a twenty four (24) hour population. The CSIBD provides for residential, commercial and office use opportunities, with incentives for high density residential land use in a manner compatible with the existing form and function of the Sugar House Master Plan and the Sugar House Business District. The proposed development, in general, complies with the purposed statement of the Sugar House Business District. The issue with the proposal is that it does not comply with major design regulations within the Zone i.e. Building height, stepback height, and active street level uses.
B. No Substantial Impairment Of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.	Complies	
C. No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.	Does not comply	Should the additional building height receive approval, a precedent will be set indicating that buildings in excess of the maximum building height are appropriate. This will in turn begin to change the character of the area; contrary to the vision for the SHBD outlined in the SIIMP.
D. Compatible With Surrounding Development: The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.	Does not comply	A building of the proposed height of 115' will not be compatible with surrounding development. In fact, of all the new construction in the SHBD in recent years, a building of the maximum building height of 105' would be the tallest. None of the recent development has approached the maximum height. This proposal would not only exceed the maximum building height allowed by Zone, but it would exceed it. It is difficult to argue that an exceptionally tall building would be compatible with surrounding development.
E. No Destruction Of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.	Not applicable	
F. No Material Pollution Of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.	Not applicable	
G. Compliance With Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.	Complies	

(Ord. 15-13, 2013)

ATTACHMENT J: PUBLIC PROCESS AND COMMENTS

The Sugar House Community Council reviewed this project on February 17, 2014 and March 5, 2014. The Community Council provided a letter regarding the project dated April 9, 2014. In general, the Community Council supports the proposal.

As of the preparation and distribution of this staff report, Planning Staff had received no comment from the public.

April 9, 2014

TO: Salt Lake City Planning Commission

FROM: Judi Short, Land Use Chair
Sugar House Community Council

RE: PLNPCM2014-00137 and PLNPCM1024-00138
1202 East Wilmington Avenue
The Legacy at Sugar House



Sugar House
Community Council

The Sugar House Community Council Land Use Committee has reviewed this project on February 17, 2014 and the full Sugar House Community Council had a presentation of the plan on March 5, 2014. In general, the Council approves this plan.

We are pleased this project is happening. It contains the additional parking needed to comply with the requirements that are still outstanding for the Wilmington Gardens project; along with some much needed additional parking for the Sugar House Business District. Parking is already at a premium in a number of areas, while there is a surplus in areas such as the upper Sugar House Center.

The developer is asking for two exceptions. The first is an additional 10' of height. The reason stated is that the parcel is on a slope, and the property drops 9' from East to West. While we would prefer underground parking, we are willing to allow this exception for this parcel **only** because of the slope. We do not believe that any other height exceptions will be needed in the SHBD. This building will be lower than other surrounding buildings on the east side of Highland. There are many of us who feel that the parking deck should be below ground, and would like them to study this further.

The second is an increase in the 30' height requirement for the building setback, to 40'. The way the building is designed, if we held them to the 30' limit, there would be no benefit to having the plazas on that roof. The plazas would be adjacent to a level of parking, rather than adjacent to the dining room and common spaces of the development. This makes for a much nicer amenity, and makes the project a more attractive place to live. Again, we are approving this only because of the slope issues.

We have approved putting no glass in the parking on the first level, because we feel it is important to have that area ventilated. However, we have suggested that some sort of ironwork screening be put in place of windows, so that a pedestrian can still see into the space, instead of looking at a solid wall.

We would prefer retail or restaurants across the whole ground level facing Wilmington. However, we balance that with the retail provided on the West side of the building, and feel that we have achieved the same purpose. Down the road, as the rest of the Sugar House Center begins its redevelopment, we have been told a road will be on the West side of this building. That is almost directly in line with 1200 East on the other side of 2100 South. We know this street could never be put back as described, because that would interfere with Hidden Hollow. However, I have suggested that they put a street sign on the northwest corner of the Legacy that says "1200 East", as the first indication that the street grid system that once existed on the site

between Highland Drive and 1300 East, will eventually be restored. We would like to see the streets of Simpson, Sugarmont, and Ashton returned to the neighborhood, as well as Elizabeth, 1200 East, and Douglas. At the same time, we acknowledge that perhaps not all those roads will be for automobiles, it could be that some are just pedestrian walkways, but we are excited, and hopeful, that the block will once again be returned to a human scale development. This return of the local streets was included in the Sugar House Circulation and Mobility Study recently approved by the City Council. We will look for these streets as we review projects in this area going forward.

In addition, I have attached a copy of our new Sugar House Town Center Vision Statement. This was approved last month by our Sugar House Community Council, and reflects what we expect to see for our business district as new projects are developed. We hope that you will all read this carefully.

Town Center Vision Statement

Sugar House Town Center' Vision Statement

March 2014

The Sugar House Business District and adjacent areas are seeing a dramatic infusion of development and transit energy. While many of the changes are helping to improve the area, it is also apparent that some developers, each with varying levels of familiarity of the nuances of Sugar House's history and its vision for the future, are delivering products of erratic quality and acceptance. This Statement is an effort to present our vision of the key development components of our business district and beyond. It is, by design, a concise document that is meant to provide a general overview of intent and initiate further discussion with the members of the Sugar House Community Council.

Our primary aim is to move forward. We welcome the new. Wherever the stamp of innovation can present itself in future projects, every effort should be made to include it. Complement the locally owned, street-level, businesses with office suites filled with practitioners of new 21st century industries, especially those who create intellectual property: designers, artists, animators, etc.

1. Overall Look & Feel:

We see the business district as a classic Salt Lake neighborhood whose form is characterized by a dominant pedestrian relationship to surrounding architectural and transit elements. Regardless of the height and size of a building, it should feel intimate at the pedestrian level. We also see a variety of architectural styles made of quality construction and craftsmanship with unique architectural elements, especially at the pedestrian level.

2. A "Village" Environment

We see Sugar House as a village consisting of a mixed-use town center, where businesses are supported by the surrounding residents and are easily accessible for pedestrians and cyclists. We see the Sugar House Business District as the cultural center of the village. By "village" we mean a self-contained area where residents can live, work and play. Through proper design and planning, a synergy between residents, shop owners and visitors should become a known characteristic of the village.

- a. Wide sidewalks with trees
- b. Pedestrian-oriented signage
- c. On-street parking, benches, outdoor seating, landscaping, bike racks, etc.
- d. Locally owned businesses preferred over national chains
- e. Festivals and events

3. Urban Form

All architectural and landscape design efforts should address the history of Sugar House as an area of varying density development with structures of varying profiles. Mountain views should be visible

at the pedestrian level. Ground level pathways should be designed in such a way that the pedestrian feels comforted by an ease of navigation and a visually pleasant environment. "The Draw" symbolizes the connection between "man and nature" and future designs should play with these tensions (e.g.: natural vs manmade environments, modern-day materials vs raw materials from nature).

- a. Small, open and bright parking decks preferred over large parking lots
 - b. A walkable network of public paths, alleys, and sidewalks through the area
 - c. Improve the connections between the village center and the 110-acre Sugar House Park
 - d. Business, retail and residential oriented to the street.
4. Honor the Past

We want a new visitor coming to Sugar House to become familiar with its history via its preservation of vintage architectural elements and signage. Every effort should be made to preserve those assets that have a known historical value. Retaining them as relics of a previous generation will not only honor the history of the area, but will help underscore the evolution of Sugar House as it continues to move forward.

- a. Retain and refurbish vintage signs
- b. Acknowledge area history when possible (e.g.: naming, historical factoids, design accents)

Key Questions:

1. How is your project addressing the four elements of the Vision Statement?
2. What architectural considerations are you implementing for your structure, especially at the street pedestrian level, to create a more intimate feel?
3. What is your parking plan?
4. How does a pedestrian access your building?
5. How does your project enhance the pedestrian experience?
6. What are your plans for involving local businesses in your project?
7. How have you considered environmental sustainability in the design of your project?

Also See These Reference Documents:

- Sugar House Master Plan, 2005 version (especially the Appendix on pp. 22-23)
http://www.slcdocs.com/Planning/MasterPlansMaps/SugarHouse/SH_Master_Plan.pdf
- Circulation and Streetscape Amenities Plan for the Sugar House Business District
http://www.slcdocs.com/transportation/Plans/SugarHouseCirculationPlan_DRAFT_RDA.pdf
- Form Based Code for the Sugar House Business District

ATTACHMENT K: CITY DEPT/DIVISION COMMENTS

Traughber, Lex

From: Walsh, Barry
Sent: Wednesday, May 14, 2014 5:19 PM
To: Traughber, Lex
Subject: RE: Wilmington Gardens Parking and Assisted Living

May 14, 2014

Lex Traughber, Planning

Re: Wilmington Gardens parking calculations for both the North side development under construction and the new South side Assisted Living proposal.

The New parking calculations submitted by Lynn Woodbury indicate compliance with the overall provisions for the North side development which are to be converted from the original temporary development agreement with the Westminster 1300 East project to the final combined development for the North and South side of Wilmington Project to be located in the New south side parking structure.

The Parking is broken down into three elements. Number one being the North side with some on-site parking provided in the underground parking structure and the rest in the new south side parking structure. Number two is the replacement agreement for the existing south side surface parking lot being removed. And Number three is the provisions for the new South side Assisted living project with parking compliance per the New city code dated November 2013, which addresses required minimum and maximum stalls as well as ADA stalls bicycle stalls and electric charging stations.

Sincerely,

Barry Walsh

From: Traughber, Lex
Sent: Wednesday, May 14, 2014 12:30 PM
To: Walsh, Barry
Subject: RE: Wilmington Gardens Parking and Assisted Living

Maybe this email indicates that you are ok with the calcs? Lemme know.

From: Walsh, Barry
Sent: Tuesday, May 13, 2014 5:32 PM
To: 'Lynn Woodbury'; Traughber, Lex; Weiler, Scott
Cc: Aabir Malik (Aabir@colmenagroup.com); Ryan Griffiths (rgriffiths@beecherwalker.com); 'Lyle Beecher'; Brad Miles (brad@mpad.biz); 'Steve Miles'
Subject: RE: Wilmington Gardens Parking and Assisted Living

May 13, 2014

Lynn,

Re: Petition PLNPCM2014-00137 and PLNSUB2014-00138.

Thank you for the revised parking calculations. I look forward to the parking structure plan reviews and the coordination with Dan & Emy for the trail corridor.



Work Flow History Report

1202 Wilmington

PLNPCM2014-00137

Date	Task/Inspection	Status/Result	Action By	Comments
3/18/2014	Staff Assignment	Assigned	Traughber, Lex	
3/18/2014	Staff Assignment	In Progress	Traughber, Lex	
3/20/2014	Staff Assignment	Assigned	Traughber, Lex	
3/20/2014	Staff Assignment	In Progress	Traughber, Lex	
4/1/2014	Fire Code Review	Complete	Itchon, Edward	
4/1/2014	Planning Dept Review	In Progress	Traughber, Lex	
4/1/2014	Staff Assignment	Routed	Traughber, Lex	
4/8/2014	Transporation Review	Complete	Walsh, Barry	Review Street function for the minimum ten foot wide mix use public trail corridor per the "Sugar House Business District Circulation Plan" and proposed cut back drop off (six foot min - reflect north side) requiring 16'+ from back of existing curb to property line, (dedication of ROW) Building review requires all doors to be recessed, not to swing over property line. Cross walk to align with north side ADA ramp , not service driveway. Provide fully dimensioned grid layout in compliance with SLC Standard parking stalls and buffers (F1.c2) include ramp grades and transition, ADA height, etc. Submitt parking calculaitons.
4/14/2014	Zoning Review	Complete	Michelsen, Alan	CSHBD1 Zone – Zoning comments for conditional building and site design review for a senior housing and assisted living with parking garage: Any demolition of existing principal buildings will require a separate demolition permit. Any new construction of a principal building will require obtaining a new certified address from the Engineering Dept. for use in the plan review and permit issuance process. The assisted living centers will require a zoning text amendment to approve the use. Any development of this property as will require lot consolidation and/or cross access agreements, cross drainage easements, off-site parking lease agreements, etc. Maximum setback, maximum height, minimum first floor glass, screening of mechanical equipment, etc are determined as per Guidelines Handbook and Section 21A.26.060. However, this proposal appears to exceed the maximum 105 feet building height allowed in the CSHBD-1 zone. Building height is measured from the average exsting grade at each building face. Height exceptions are as per table 21A.36.020.C Vehicle parking, bike parking, electric vehicle parking, loading birth and off-site parking requirements are addressed by 21A.44, and landscaping and trash dumpster enclosure requirements are addressed by 21A. 48. Any public way encroachment will require a lease agreement with SLC Property Management. Any proposal for condominiums will need to be processed through the Planning Dept.

4/15/2014	Engineering Review	Complete	Weiler, Scott	<p>No objections to the Conditional Use or Planned Development concept. Due to revisions to the subdivision ordinance that became effective April 8, 2014, including the revision that no longer defines a Planned Development as a Subdivision, Engineering will not require the applicant to execute a Subdivision Improvement Construction Agreement. The design of sidewalk, cut back parking, drive approaches and curb & gutter will need to be submitted for a detailed review and approval by SLC Transportation and SLC Engineering, prior to a building permit being issued. The east to west slope of Wilmington Avenue will dictate that the several doorways on the north face of the proposed building will be at differing elevations. The designer should not expect to use the public sidewalk (2% cross slope and a longitudinal slope matching the street slope) to accommodate changes in elevation that must be made on private property. The proposed Wilmington crosswalk needs to align with the soon to be built sidewalk ramp on the north side of Wilmington Avenue, not a drive approach. The Parley's Creek trail may be best served by using the sidewalk on the north side of Wilmington Avenue to Highland Drive, since the trail is on the north side of the Street Car tracks at the McClelland/Sugarmont intersection. That would reduce the number of street crossings the trail must make if the Sugarmont/Wilmington street connection can be achieved at a single intersection at Highland Drive (by others). The specie of any trees proposed in the public way must be approved by the Urban Forester.</p>
4/18/2014	Building Review	Complete	Michelsen, Alan	
4/18/2014	Police Review	Complete	Traugher, Lex	The Police Dept provided no comments.
4/21/2014	Planning Dept Review	Complete	Traugher, Lex	

4/21/2014	Public Utility Review	Complete	Stoker, Justin	<p>The project has been reviewed. In the current location of the subject application there is an existing 1" water service to the existing building. There are no fire suppression lines or irrigation lines to the subject parcels. It appears that the project will require that the existing 1" line be terminated and a new culinary line be installed at a more appropriate size. A fire suppression line may also need to be connected separately to the main to service the fire suppression needs. If there are online private fire hydrants, then a detector check assembly would need to be installed where the fire line crosses the property line. There appear to be three sewer lines that are serving the project area. It is unclear which are being used, but if they are found in good condition, they can continue to be used. The project will be required to provide a technical drainage study and a storm water pollution prevention plan (SWPPP) as part of the review and permitting process. The drainage study will provide narrative and calculations necessary to show compliance with the City's restrictive discharge policy and state and local drainage codes. Requirements for the drainage study can be found in section 2.2.2 of the SLC Design Process Manual. The SWPPP must follow the EPA template.</p> <p>Please feel free to contact with any questions.</p> <p>Thanks, Justin</p> <p>Justin D. Stoker, PE, LEED@ AP, CFM Salt Lake City Public Utilities 1530 S. West Temple, SLC, UT 84115 ph. (801) 483-6786 - justin.stoker@slcgov.com</p>
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Work Flow History Report

1202 E WILMINGTON Ave

PLNSUB2014-00138

Date	Task/Inspection	Status/Result	Action By	Comments
3/13/2014	Staff Assignment	Assigned	Traughber, Lex	
3/13/2014	Staff Assignment	Assigned	Traughber, Lex	60 days schedule a public hearing
3/18/2014	Staff Assignment	In Progress	Traughber, Lex	
4/1/2014	Fire Code Review	Complete	Itchon, Edward	This structure shall be constructed as a high-rise since the description in the Narrative Indicates 10 levels
4/1/2014	Planning Dept Review	In Progress	Traughber, Lex	
4/1/2014	Staff Assignment	Routed	Traughber, Lex	
4/8/2014	Transporation Review	Complete	Walsh, Barry	Review Street function for the minimum ten foot wide mix use public trail corridor per the "Sugar House Business District Circulation Plan" and proposed cut back drop off (six foot min - reflect north side) requiring 16'+ from back of existing curb to property line, (dedication of ROW) Building review requres all doors to be recessed, not to swing over property line. Cross walk to align with north side ADA ramp , not service driveway. Provide fully dimensioned grid layout in compliance with SLC Standard parking stalls and buffers (F1.c2) Include ramp grades and transition, ADA height, etc. Submitt parking calculaitons.
4/14/2014	Zoning Review	Complete	Michelsen, Alan	CSHBD1 Zone – Zoning comments for conditional building and site design review for a senior housing and assisted living with parking garage: Any demolition of existing principal buildings will require a separate demolition permit. Any new construction of a principal building will require obtaining a new certified address from the Engineering Dept. for use in the plan review and permit issuance process. The assisted living centers will require a zoning text amendment to approve the use. Any development of this property as will require lot consolidation and/or cross access agreements, cross drainage easements, off-site parking lease agreements, etc. Maximum setback, maximum height, minimum first floor glass, screening of mechanical equipment, etc are determined as per Guldellnes Handbook and Section 21A.26.060. However, this proposal appears to exceed the maximum 105 feet building height allowed in the CSHBD-1 zone. Building height is measured from the average existing grade at each building face. Height exceptions are as per teble 21A.36.020.C Vehicle parking, bike parking, electric vehicle parking, loading birth and off-site parking requirements are addressed by 21A.44, and landscaping and trash dumpster enclosure requirements are addressed by 21A.48. Any public way encroachment wilf require a lease agreement with SLC Property Management. Any proposal for condominiums will need to be processed through the Planning Dept.
4/15/2014	Building Review	Complete	Michelsen, Alan	

4/15/2014	Engineering Review	Complete	Weiler, Scott	<p>No objections to the Conditional Use or Planned Development concept. Due to revisions to the subdivision ordinance that became effective April 8, 2014, including the revision that no longer defines a Planned Development as a Subdivision, Engineering will not require the applicant to execute a Subdivision Improvement Construction Agreement. The design of sidewalk, cut back parking, drive approaches and curb & gutter will need to be submitted for a detailed review and approval by SLC Transportation and SLC Engineering, prior to a building permit being issued. The east to west slope of Wilmington Avenue will dictate that the several doorways on the north face of the proposed building will be at differing elevations. The designer should not expect to use the public sidewalk (2% cross slope and a longitudinal slope matching the street slope) to accommodate changes in elevation that must be made on private property. The proposed Wilmington crosswalk needs to align with the soon to be built sidewalk ramp on the north side of Wilmington Avenue, not a drive approach. The Parley's Creek trail may be best served by using the sidewalk on the north side of Wilmington Avenue to Highland Drive, since the trail is on the north side of the Street Car tracks at the McClelland/Sugarmont intersection. That would reduce the number of street crossings the trail must make if the Sugarmont/Wilmington street connection can be achieved at a single intersection at Highland Drive (by others). The specie of any trees proposed in the public way must be approved by the Urban Forester.</p>
4/18/2014	Community Council Review	Complete	Traughber, Lex	The Community Council reviewed this project. Comments received and in the Planning file.
4/18/2014	Police Review	Complete	Traughber, Lex	The Police Dept provided no comments.
4/21/2014	Planning Dept Review	Complete	Traughber, Lex	

4/21/2014	Public Utility Review	Complete	Stoker, Justin	<p>The project has been reviewed. In the current location of the subject application there is an existing 1" water service to the existing building. There are no fire suppression lines or irrigation lines to the subject parcels. It appears that the project will require that the existing 1" line be terminated and a new culinary line be installed at a more appropriate size. A fire suppression line may also need to be connected separately to the main to service the fire suppression needs. If there are online private fire hydrants, then a detector check assembly would need to be installed where the fire line crosses the property line. There appear to be three sewer lines that are serving the project area. It is unclear which are being used, but if they are found in good condition, they can continue to be used. The project will be required to provide a technical drainage study and a storm water pollution prevention plan (SWPPP) as part of the review and permitting process. The drainage study will provide narrative and calculations necessary to show compliance with the City's restrictive discharge policy and state and local drainage codes. Requirements for the drainage study can be found in section 2.2.2 of the SLC Design Process Manual. The SWPPP must follow the EPA template.</p> <p>Please feel free to contact with any questions.</p> <p>Thanks, Justin</p> <p>Justin D. Stoker, PE, LEED® AP, CFM Salt Lake City Public Utilities 1530 S. West Temple, SLC, UT 84115 ph. (801) 483-6786 - justin.stoker@slcgov.com</p>
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ATTACHMENT L: MOTIONS

Consistent with Staff Recommendation (approve the development based on compliance with all Zoning Ordinance Standards): Based on the testimony, plans presented, the findings noted in the staff report, the recommendation of Planning Staff, and conditions of project approval, I move that the Planning Commission approve the 1202 E. Wilmington Avenue Mixed Use Development, Petitions PLNSUB2014-00137 – Conditional Building & Site Design Review, PLNPCM2014-00138 – Planned Development, and PLNPCM2014-00287 – Special Exception

Inconsistent with Staff Recommendation (approve the development as proposed): Based on the testimony, plans presented, the findings noted in the staff report, and conditions of project approval, I move that the Planning Commission approve the 1202 E. Wilmington Avenue Mixed Use Development, Petitions PLNSUB2014-00137 – Conditional Building & Site Design Review, PLNPCM2014-00138 – Planned Development, and PLNPCM2014-00287 – Special Exception, as proposed.

Denial of the Proposal: Based on the testimony, plans presented, the findings noted in the staff report, I move that the Planning Commission deny the 1202 E. Wilmington Avenue Mixed Use Development, Petitions PLNSUB2014-00137 – Conditional Building & Site Design Review, PLNPCM2014-00138 – Planned Development, and PLNPCM2014-00287 – Special Exception, based on the following findings: *The Planning Commission would need to formulate findings for denial.*